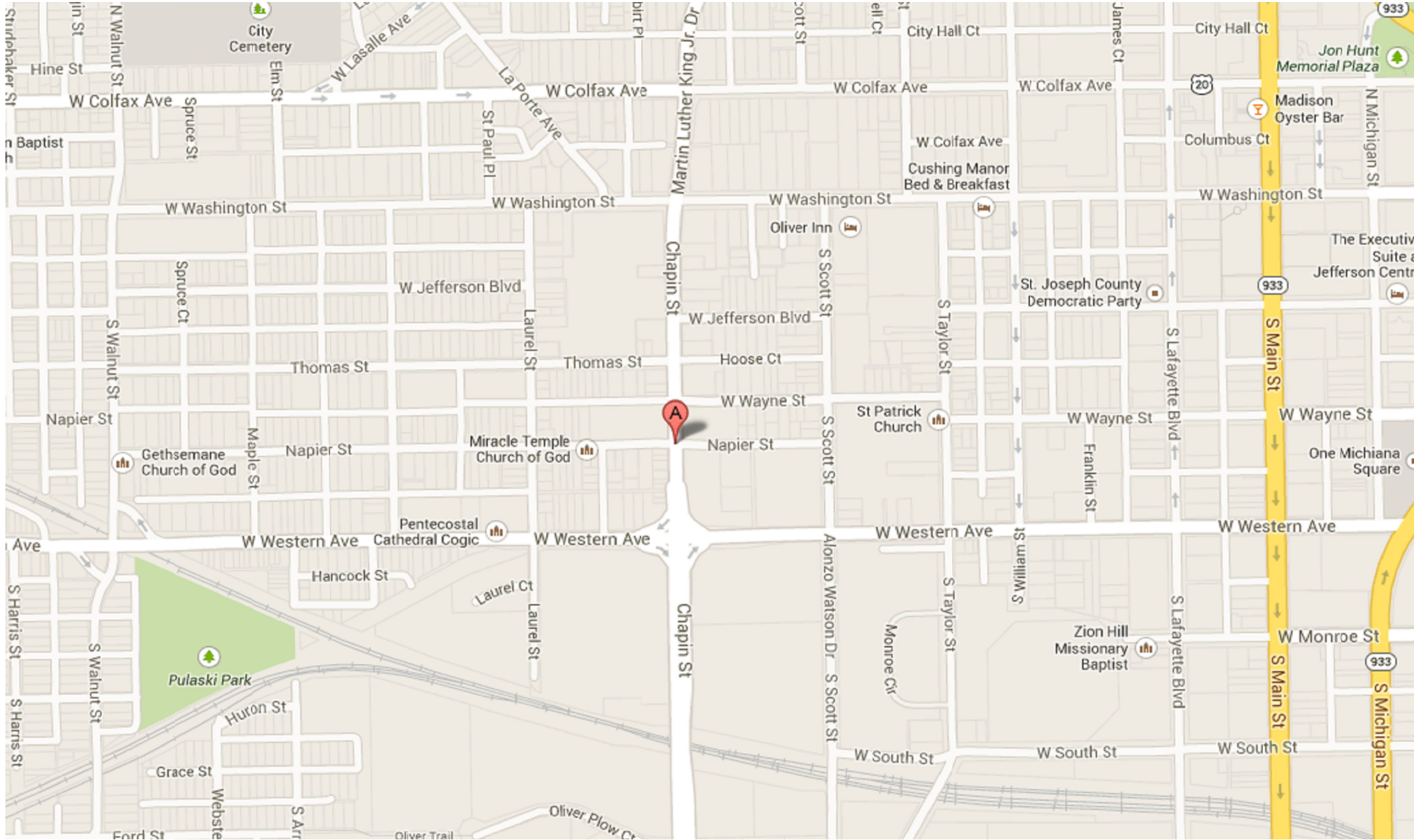
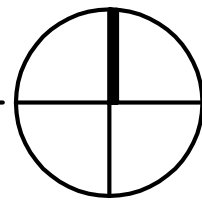


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## LOCATION MAP

SCALE: N.T.S.



PROPERTY ADDRESS:  
301 CHAPIN STREET  
SOUTH BEND, IN 46601

LEGAL DESCRIPTION:  
NA

IDHS PROJECT NUMBER:  
414445

**OWNER:**  
SOUTH BEND HERITAGE FOUNDATION  
803 LINCOLN WAY WEST  
SOUTH BEND, IN 46616  
TEL: 574-289-1066  
FAX: 574-289-4550

**ARCHITECT:**  
SOUTH BEND HERITAGE FOUNDATION  
PATRICK LYNCH AR19900085  
803 LINCOLN WAY WEST  
SOUTH BEND, IN 46616  
CELL (574)286-0816 FAX (574)289-4550

ENERGY CODE:  
BUILDING BUILT BEFORE 1970. EXEMPT.

BUILDING CODE: InBC 2014 - CHAPTER 34  
BUILDING TYPE 3-B  
OCCUPANCY ~~R-2, B, S-2~~ R-3, B, S-2  
SPRINKLERS

SPRINKLERS  
OCCUPANCY: S-2 (LOW HAZARD) NONE  
OCCUPANCY: B NONE  
OCCUPANCY: R-3) NFPA 13R

FIRE ALARM  EXISTING PULL BOXES AT FIRST FLOOR B  
R2 PER 907.2.9

STORIES 2 OVER BSMT

S2 OCCUPANCY (LOWER LVL) 300/GROSS = 7 PERSONS  
B OCCUPANCY (1ST FLR) 100/GROSS = 19 PERSONS  
R3 OCCUPANCY (2ND FLR) 200/GROSS = 10 PERSONS

LOWER LEVEL S2 AREA:	GROSS	1,815	SF
FIRST FLOOR B AREA:	GROSS	1,815	SF
SECOND FLOOR R3 AREA:	GROSS	1,815	SF
BUILDING TOTAL:		5,445	SF

ZONING JURISDICTION:  
CITY OF SOUTH BEND  
ZONING: NC (NEIGHBORHOOD CENTER)

<b>PARKING</b>	
PROPOSED USE:	R3 OVER EXISTING B
PARKING REQ'D FOR RETAIL:	NONE REQUIRED FOR NC ZONING
PARKING REQ'D FOR R3:	NONE REQUIRED FOR NC ZONING
SPACES PROVIDED:	24 + 2 ADA EXISTING

## DRAWING INDEX

- |       |  |
|-------|--|
| A0.1  | GENERAL NOTES & DRAWING INDEX                          |
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| A0.3  | CHAPTER 34 SUPPORTING CALCULATIONS                     |
| A0.4  | SITE PLAN  |
| LS1.0 | LIFE SAFETY PLANS - EGRESS & OCCUPANCY                 |
| D1.1  | SECOND FLOOR DEMO PLAN                                 |
| A2.0  | FIRST FLOOR WALL PLAN                                  |

- |      |                           |
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| A2.1 | SECOND FLOOR WALL PLAN    |
| A2.2 | —                         |
| A3.0 | ROOF PLAN AND ROOF HVAC   |
| A3.1 | EXTERIOR STAIR            |
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- A6.1 SECOND FLOOR LIGHTING & REFL. CLG. PLAN

- M1.0 SECOND FLOOR HVAC PLAN  
P1.0 PLUMBING ISOMETRIC & DETAIL

- E1.1 SECOND FLOOR POWER & DATA PLAN  
E2.0 ELECTRIC PANELS

- FA1.0 FIRST & SECOND FLOOR FIRE ALARM PLAN

SOUTH BEND HERITAGE  
FOUNDATION



CHAPIN STREET APTS. E & F  
301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

REVISIONS		
1	04-13-20	BLDG SECTION
2	07-01-20	R-3 FROM R-2

## Permit Set

Date: AUG. 19, 2020

Job Number:

**Drafting:**

Approval: PD

Gen Notes  
Drawing Index  
Vicinity Map

Sheet Number:

# A0.1



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FIRE SAFETY TABULATION - CHAPTER 34 InBC 2014 (IBC 2012 + IN amendments)				S-2 OCCUPANCY (BSMT)		
Unseparated occupancies for calculations: S-2, B, & R-3 & const type III-B				VALUE		
				Fire Safety S-2	Means of Egress S-2	General Safety S-2
3412.2.2	Existing basement S-2 to remain. Existing unseparated occupancy with B above.					
3412.6	Therefore all occupancies analyzed. Lowest # for each category is used.					
3412.6.1	building height			3.00	3.00	3.00
	existing	max ht S1: 0' above grade plane	0' EBH			
	table 503	allowable height (AH) in ft for III-B: AH - EBS = +ve value	55' AH (55-0)/12.5 = 4.4			
		ht ext'g in stories:	1 EBS (3 x 1) x 1 = 3			
	table 503	S-2 occupancy stories allowed:	3 AS (enter the lesser value)			
3412.6.2	building area			8.50	17.00	17.00
	sec 506.3	0% incr for NFPA13R sprink NA	1,825 sf 0			
IBC 2012	table 503	max flr area allowed for S-2 occ & III-B const:	26,000 sf			
	sec 506.2	area increases for frontage	0 sf			
	AA = (from 3412.6.2.1 formula)	26,000 sf	26000/1,200=21.67 21.67 [1-(1825/26000)] 21.67(.93)=20.15			
	(score cannot exceed 50% of each value in 3412.8! 17/2 = 8.5 ; 34/2=17)					
3412.6.3	compartmentalization - unseparated occupancies			14.00	14.00	14.00
	unseparated occupancies.					
	Therefore, fire compartment is three floors added together = 5,475 sf					
	By linear interpolation, 5,475 sf is equivalent to approx 14.0 on table 3412.6.3					
3412.6.4	tenant and dwelling unit separation					
	only one tenant within the floor area - mechanical space					
	category 'c' = 0			0.00	0.00	0.00
3412.6.5	corridor walls					
	category 'c' - 1 hr to less than 2 hr w/ drs per 715 or w/o corr walls if permitted = 0			0.00	0.00	0.00
3412.6.6	vertical openings	VO = PV x CF		3.50	3.50	3.50
		stair up from bsmt to 1st flr.				
		Construction type factor for III-B is 3.5. CF=3.5	1x3.5 = 3.5			
3412.6.7	hvac systems			5.00	5.00	5.00
	bldg type III-B - each HVAC units serve only one story = 5					
3412.6.8	automatic fire detection			8.00	8.00	8.00
	Smoke detectors throughout the S-2 occupancy = category 'e' = 6					
3412.6.9	fire alarm systems			10.00	10.00	10.00
	S occupancy					
	in compliance with Section 907	category 'c'=10				
3412.6.10	smoke control			*****	0.00	0.00
	none = 0					
3412.6.11	means of egress capacity and number (for entire unseparated bldg)			*****	0.00	0.00
	exit capacity category 'b' = 0					
3412.6.12	dead ends			*****	2.00	2.00
	occupancy type S-2 - category 'c' no dead end corridors = 2					
3412.6.13	maximum travel distance					
	complies with the limits set by the bldg code per 1016.1					
	max travel distance = 300' for S-2 per					
	S-2 = 85' actual max travel distance		(300'-85')/300' x 20 =14.33	*****	14.33	14.33
3412.6.14	elevator control			0.00	0.00	0.00
	no elevator in building = 0					
3412.6.15	egress lighting			*****	1.00	1.00
	full compliance - emergency power backup - category 'b'					
3412.6.16	mixed uses			0.00	*****	0.00
	non compliant with 3412.6.16.1 catagories. Therefore = 0 per 3412.6.16					
	Also, per 3412.6, each occ to be eval separately. Lowest score for ea section					
3412.6.17	automatic sprinklers	for S-2		3.00	(x/2) 1.50	3.00
	not required for S-2 but required and provided for R-3.					
	category 'd' required in R-3 portion and provided in R-3 portion = 3					
3412.6.18	standpipes	not required and not provided - category 'b'				
	standpipe shall meet 2012IBC 905.3			0.00	0.00	0.00
3412.6.19	incidental use per 508.2.					
	no incidental use areas			0.00	0.00	0.00
TOTAL SCORE FOR S-2 OCCUPANCY:				55.00	79.33	80.83
MANDATORY (MIN.) SAFETY SCORES FOR S-2 OCCUPANCY:				S-2	23	33
(min. score revised per InBC 2014 amendments)						

UNSEPARATED S-2 & B

FIRE SAFETY TABULATION - CHAPTER 34 InBC 2014 (IBC 2012 + IN amendments)				B OCCUPANCY (1st Floor)		
Unseparated occupancies for calculations: S-2, B, & R-3 & const type III-B				VALUE		
				Fire Safety	Means of Egress	General Safety
				B	B	B
3412.2.2	Existing B occupancy to remain. Unseparated from exist'g S1 below and new R2 above.					
3412.6	Therefore all occupancies analyzed. Lower # for each category is used.					
3412.6.1	building height existing max ht exist'g B: 10' above grade plane 10' EBH			3.00	3.00	3.00
	table 503	allowable height (AH) in ft for III-B: AH - EBS = positive value	55' AH (55-10)/12.5 = 3.6			
	ht ext'g in stories:	1	(4-1) x 1 = 3			
	table 503	B occupancy stories allowed:	4			
3412.6.2	building area flr area existing B occ: 1,825 sf			12.00	14.31	14.31
	sec 506.3	0% incr for sprink NA	0			
IBC 2012	table 503	max flr area for B occ & III-B const:	19,000 sf			
	sec 506.2	area increases for frontage	0 sf			
		AA = [(from 3412.6.2.1 formula)	19,000 sf			
		(1,200 is a given in the equation)	19,000/1,200=15.83			
			15.83 [1-(1825/19000)]			
			15.83(.904)=14.31			
	(score cannot exceed 50% of each value in 3412.8! 24/2 = 12 ; 34/2=17)					
3412.6.3	compartmentalization - unseparated occupancies 2 hr is req'd but existing horz. Btw R-3 above and B is less than 1 hour. Therefore, compartment is three both floors added together = 5475 sf			14.00	14.00	14.00
	By linear interpolation, 5,475 sf is equivalent to approx. 14 on table 3412.6.3					
3412.6.4	tenant and dwelling unit separation 1 hr btw B and R-3 above category 'c' = 0			0.00	0.00	0.00
3412.6.5	corridor walls category 'c' - 1 hr to less than 2 hr w/ drs per 715 or w/o corr walls if permitted = 0			0.00	0.00	0.00
3412.6.6	vertical openings VO = PV x CF B occupancy is first floor and is one story per 3412.6.5, one story building PV = 2 CF Const type factor for III-B is 3.5			7.00	7.00	7.00
3412.6.7	hvac systems bldg type III-B - HVAC units serve only one story = 5			5.00	5.00	5.00
3412.6.8	automatic fire detection Smoke detectors throughout the B occupancy = category 'e' = 8			8.00	8.00	8.00
3412.6.9	fire alarm systems in compliance with Section 907 category 'c' = 0			0.00	0.00	0.00
3412.6.10	smoke control none = 0			*****	0.00	0.00
3412.6.11	means of egress capacity and number (for entire unseparated bldg) exit capacity category 'b' = 0			*****	0.00	0.00
3412.6.12	dead ends occupancy B - category 'c' no dead end corridors = 2			*****	2.00	2.00
3412.6.13	maximum travel distance complies with the limits set by the bldg code per 1016.2 max travel distance = 200' for B unsprinkled B = 70' actual max travel distance (200'-70')/200' x 20 = 13			*****	13.00	13.00
3412.6.14	elevator control no elevator in 1 story bldg = 0			0.00	0.00	0.00
3412.6.15	egress lighting full compliance - emergency power backup - category 'b' = 1			*****	1.00	1.00
3412.6.16	mixed uses non compliant with 3412.6.16.1 catagories. Therefore = 0 per 3412.6.16 Also, per 3412.6, each occ to be eval separately. Lowest score for ea section			0.00	*****	0.00
3412.6.17	automatic sprinklers (scoring revised per IAC amendments for B occupancy) may be required to meet chap 9 via 508 = 0 Req'd in R-3 portion and provided in R-3 portion only - category 'd' = 3			3.00	(x/2) 1.50	3.00
3412.6.18	standpipes not required and not provided - category 'b' not required but provided at grade - category 'd'			0.00	0.00	0.00
3412.6.19	incidental use per 508.2. no incidental use areas			0.00	0.00	0.00
TOTAL SCORE FOR B OCCUPANCY:				52.00	68.81	70.31
MANDATORY (MIN.) SAFETY SCORES FOR B OCCUPANCY: (min. score revised per InBC 2014 amendments)				B 24	34	34

1 HOUR HORZ. BTW B & R-3

FIRE SAFETY TABULATION - CHAPTER 34 InBC 2014 (IBC 2012 + IN amendments)				R-3 OCCUPANCY (2nd Flr)		
Unseparated Occupancies for calculations: S-2, B, & R-3 & const type III-B				VALUE		
				Fire Safety	Means of Egress	General Safety
				R-3	R-3	R-3
3412.2.2	Partial change in occupancy to second floor in bldg w/ non-separated occupancies					
3412.6	Therefore all occupancies analyzed. Lower # for each category is used.					
3412.6.1	building height			2.00	2.00	2.00
	existing	max ht R-3: 22' above grade plane	22' EBH			
	table 503	allowable height (AH) in ft for III-B: AH - EBS = +ve value	55' AH (55-22)/12.5 = <b>2.64</b>			
	ht ext'g in stories:	2	(4-2) x 1 = <b>2</b>			
	table 503	R-3 occupancy stories allowed:	4			
3412.6.2	building area			8.50	17.00	17.00
	flr area R-3 occ: (for 2 apt. units)	1,825 sf				
sec 506.3	0% incr for NFPA13R sprink NA	0				
IBC 2012	table 503	max flr area for R-3 occ & III-B const:	UL sf			
	sec 506.2	area increases for frontage	0 sf			
	AA = (from 3412.6.2.1 formula)	UL sf				
		UL/1,200=UL				
		UL x [1-(1825/16000)]				
		UL x (.93)= UL				
	(score cannot exceed 50% of each value in table 3412.8! (Indiana amendments))					
3412.6.3	compartmentalization - unseparated occupancies 2 hr is req'd but existing horz. Btw R-3 and B below is less than 1 hour. Therefore, fire compartment is three floors added together = 5,475 sf			13.00	13.00	13.00
	By linear interpolation, 5,475 sf is equivalent to approx <b>13.0</b> on table 3412.6.3					
3412.6.4	tenant and dwelling unit separation 1 hr btw apts AND 1 hr btw R-3 and B below (ASS'Y UL-1501) category 'c' = 0			0.00	0.00	0.00
3412.6.5	corridor walls category 'c' - 1 hr to less than 2 hr w/ drs per 715 = 0			0.00	0.00	0.00
3412.6.6	vertical openings VO = PV x CF = (-1 x 2 floors) stair is exterior. No openings w/ bldg. PV= -2 Construction type factor for III-B is 3.5. CF= <b>3.5</b>			-7.00	-7.00	-7.00
3412.6.7	hvac systems bldg type III-B - each HVAC units serve only one story = 5			5.00	5.00	5.00
3412.6.8	automatic fire detection Smoke detectors throughout the R-3 occupancy = category 'e' = 6			6.00	6.00	6.00
3412.6.9	fire alarm systems in compliance with Section 907 category 'c'= 0			0.00	0.00	0.00
3412.6.10	smoke control none = 0			*****	0.00	0.00
3412.6.11	means of egress capacity and number (for entire building) exit capacity category 'b' = 0 1 exit req'd for R-3 up to 4 units and max travel 125' per 1021.2			*****	0.00	0.00
3412.6.12	dead ends occupancy R-3 - category 'c' no dead end corridors = 2 1 exit permitted for R-3 per 1021.2 exception 2			*****	2.00	2.00
3412.6.13	maximum travel distance complies with the limits set by the bldg code per 1016.2 max travel dist. for R occ = 200' w/o sprinkler and 250' w/ sprinkler thruout R-3 = 90' <u>actual</u> max travel distance (200'-90')/200' x 20 = 11			*****	11.00	11.00
3412.6.14	elevator control no elevator in building = 0			0.00	0.00	0.00
3412.6.15	egress lighting full compliance - emergency power backup - category 'b'			*****	1.00	1.00
3412.6.16	mixed uses non compliant with 3412.6.16.1 catagories. Therefore = 0 per 3412.6.16 Also, per 3412.6, each occ to be eval separately. Lowest score for ea section			0.00	*****	0.00
3412.6.17	automatic sprinklers for R-3 Meets 903 = 3.0 NFPA 13D is allowed for R-3 per 903.2.8.1 sprinklers are provided for R-3 only per category 'd' = 3			2.00	(x/2) 1.00	2.00
3412.6.18	standpipes not required and not provided - category 'b' standpipe shall meet 2012IBC 905.3			0.00	0.00	0.00
3412.6.19	incidental use per 508.2. no incidental use areas			0.00	0.00	0.00
TOTAL SCORE FOR R-3 OCCUPANCY:				29.50	51.00	52.00
MANDATORY (MIN.) SAFETY SCORES FOR ANY R OCCUPANCY: (min. score revised per InBC 2014 amendments)				R-3 17	34	34

SOUTH BEND HERITAGE FOUNDATION

803 LINCOLN WAY WEST  
PHONE (574) 289-1066

PATRICK LYNCH  
REGISTERED  
ARCHITECT  
AR19900085  
STATE OF INDIANA

CHAPIN STREET APTS. E & F

301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

REVISIONS

1	04-13-20	BLDG SECTION
2	07-01-20	R-3 FROM R-2

Permit Set

Date: AUG. 19, 2020

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Approval: PDL

Chapter 34  
Supporting  
Calculations

Sheet Number:  
**A0.3**





South Bend Heritage

803 Lincoln Way West South Bend, IN 46616 Phone: 574-289-1066 Fax: 574-289-4550 www.sbheritage.org

July 1, 2020

RE: project # 414445 – CHAPTER 34 compliance – change from R-2 to R-3

This project was previously submitted with R-2, S-2, and B unseparated occupancies. The previous review process concluded that the Chapter 34 application was not sufficient to meet the requirements for a Certificate of Design Release

We have reviewed the project with RTM Consultants and determined that a change to R-3 dramatically improves and clarifies the Chapter 34 scoring. A change to R-3 removes the requirement for sprinklers throughout the building and the associated point penalty in 3412.6.17. Per 675 IAC 13-2.6-10 amendment to 903.2.8.

We will still provide 1 hour separation between the two R-3 units and between the R-3 and B below.

Please let me know if there are any questions or concerns about this change. Thank you.

Regards,

Patrick Lynch

Architect

Table 3412.7 SUMMARY SHEET - BUILDING CODE

Existing occupancy	VACANT	Proposed occupancy	R-3
Year building was constructed	1890	Number of stories	1
Type of construction	III-B	Area per floor	1575 SF
Percentage of open perimeter increase	0 %	Height in feet	22'
Completely suppressed:	Yes	Corridor wall rating	1 HR
Compartmentation:	Yes	Req'd door closers:	Yes
Fire resistance rating of vert. opening enclosures	1HR		No
Type of HVAC system:	HEAT PUMP		
Automatic fire detection:	Yes	Type and location	ONE
Fire alarm system:	Yes	Type	smoke detectors
Smoke control:	Yes	Type	per 907
Adequate exit routes:	Yes	Dead ends:	NA
Maximum exit access travel distance	97' (Actual)	Elevator controls:	NONE
Means of egress emergency lighting:	Yes		NA

Table 3412.7 SUMMARY SHEET - BUILDING CODE

Existing occupancy	B	Proposed occupancy	same
Year building was constructed	1890	Number of stories	1
Type of construction	III-B	Area per floor	1475 SF
Percentage of open perimeter increase	0 %	Height in feet	10'
Completely suppressed:	Yes	Corridor wall rating	1 HR
Compartmentation:	Yes	Req'd door closers:	Yes
Fire resistance rating of vert. opening enclosures	1HR		No
Type of HVAC system:	Gas Furnace w/ AC (Roof-top compressor)		ONE
Automatic fire detection:	Yes	Type and location	smoke detectors
Fire alarm system:	Yes	Type	manual pull alarms
Smoke control:	Yes	Type	NA
Adequate exit routes:	Yes	Dead ends:	NONE
Maximum exit access travel distance	67' (Actual)	Elevator controls:	NA
Means of egress emergency lighting:	Yes		No

Table 3412.7 SUMMARY SHEET - BUILDING CODE

Existing occupancy	S-2	Proposed occupancy	same
Year building was constructed	1890	Number of stories	1 BSMF
Type of construction	III-B	Area per floor	1475 SF
Percentage of open perimeter increase	0 %	Height in feet	10'
Completely suppressed:	Yes	Corridor wall rating	1 HR
Compartmentation:	Yes	Req'd door closers:	Yes
Fire resistance rating of vert. opening enclosures	1HR		No
Type of HVAC system:	not conditioned		NA
Automatic fire detection:	Yes	Type and location	smoke detectors
Fire alarm system:	Yes	Type	manual pull alarms
Smoke control:	Yes	Type	NA
Adequate exit routes:	Yes	Dead ends:	NONE
Maximum exit access travel distance	100' (Actual)	Elevator controls:	NA
Means of egress emergency lighting:	Yes		No

FORMULA	T.3412.7			T.3412.8	Score	Pass	Fail
FS - MFS >= 0	29.50	(FS)	-	17 (MFS) =	12.50	Y	
ME - MME >= 0	51.00	(ME)	-	34 (MME) =	17.00	Y	
GS - MGS >= 0	52.00	(GS)	-	34 (MGS) =	18.00	Y	

Combined lowest score  
(per 3412.6)

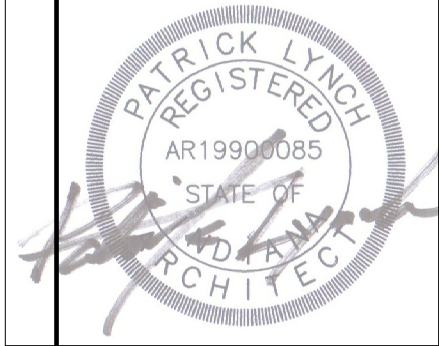
LOWEST VALUE

	Fire Safety	Means of Egress	General Safety
3412.6.1 bldg. height	2.00	2.00	2.00
3412.6.2 bldg. area	8.50	14.31	14.31
3412.6.3 compartmentalization (unseparated occupancies)	13.00	13.00	13.00
3412.6.4 tenant and dwelling unit separation	0.00	0.00	0.00
3412.6.5 corridor walls	0.00	0.00	0.00
3412.6.6 vertical openings	-7.00	-7.00	-7.00
3412.6.7 hvac systems	5.00	5.00	5.00
3412.6.8 automatic fire detection	6.00	6.00	6.00
3412.6.9 fire alarm systems	0.00	0.00	0.00
3412.6.10 smoke control	*****	0.00	0.00
3412.6.11 means of egress	*****	0.00	0.00
3412.6.12 dead ends	*****	2.00	2.00
3412.6.13 maximum travel distance	*****	11.00	11.00
3412.6.14 elevator control	0.00	0.00	0.00
3412.6.15 egress lighting	*****	1.00	1.00
3412.6.16 mixed uses	0.00	*****	0.00
3412.6.17 automatic sprinklers	2.00	(x/2) 1.00	2.00
3412.6.18 standpipes	0.00	0.00	0.00
3412.6.19 incidental use	0.00	0.00	0.00
TOTAL:	29.50	51.00	52.00
MANDATORY MIN. SAFETY SCORES: (PER 3412.9.1)	17 pass!	34 pass!	34 pass!

PASSED

SOUTH BEND HERITAGE  
FOUNDATION

803 LINCOLN WAY WEST SOUTH BEND, IN 46616  
PHONE (574) 289-1066 FAX (574) 289-4550



CHAPIN STREET APTS. E & F  
301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

REVISIONS		
1	04-13-20	BLDG SECTION
2	07-01-20	R-3 FROM R-2


Permit  
Set

Date: AUG. 19, 2020

Job Number:

Drafting: -

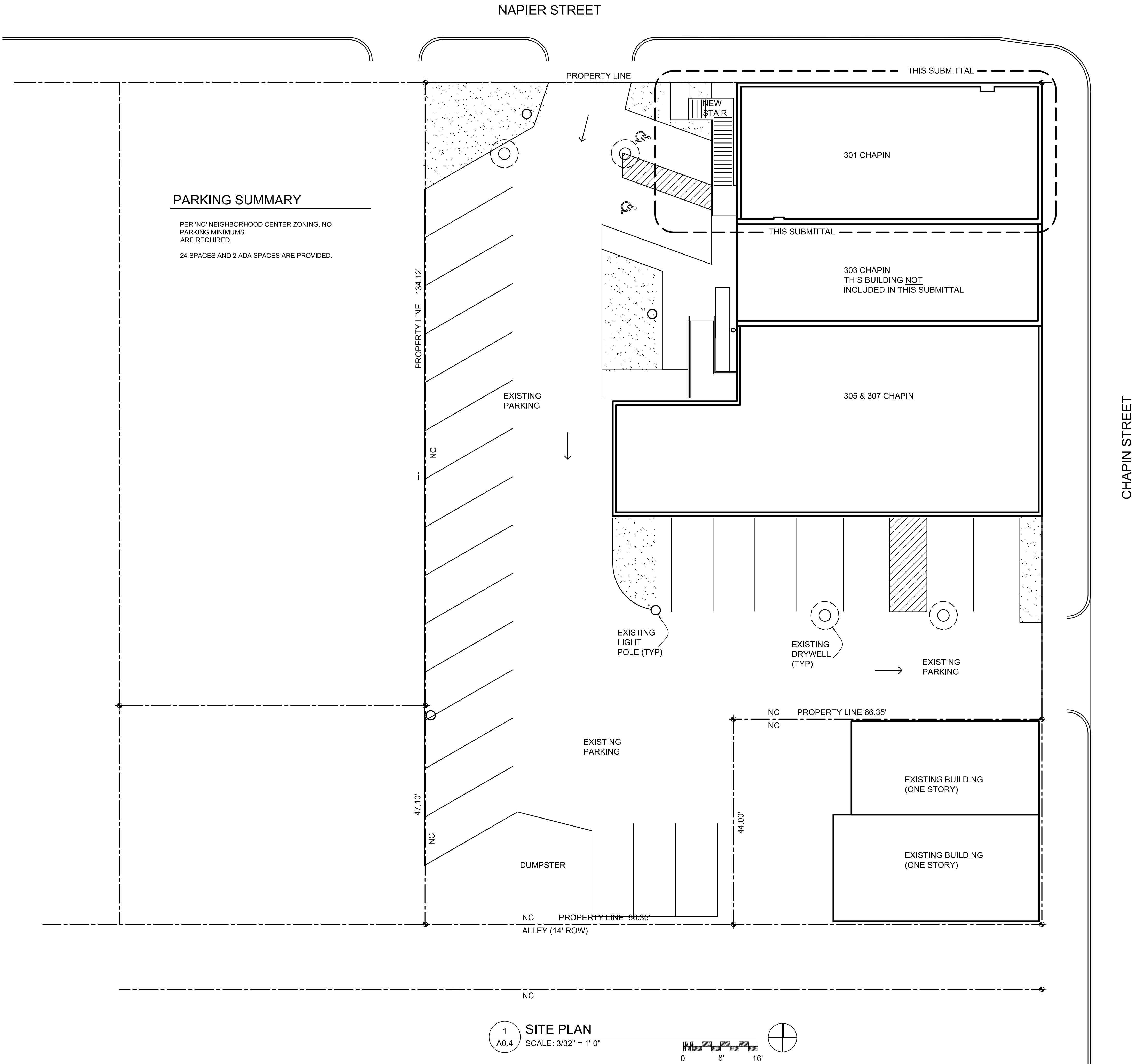
Approval: PDL

Chapter 34  
Summary

Sheet Number:

A0.2

DISTRIBUTE WHOLE SETS ONLY. DO NOT BREAK SET.



PARKING SUMMARY

PER 'NC' NEIGHBORHOOD CENTER ZONING, NO  
PARKING MINIMUMS  
ARE REQUIRED.  
24 SPACES AND 2 ADA SPACES ARE PROVIDED.

**SOUTH BEND HERITAGE  
FOUNDATION**  
803 LINCOLN WAY WEST SOUTH BEND, IN 46616  
PHONE (574) 289-1066 FAX (574) 289-4550



**CHAPIN STREET APTS. E & F**  
301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

REVISIONS		
1	04-13-20	BLDG SECTION
2	07-01-20	R-3 FROM R-2

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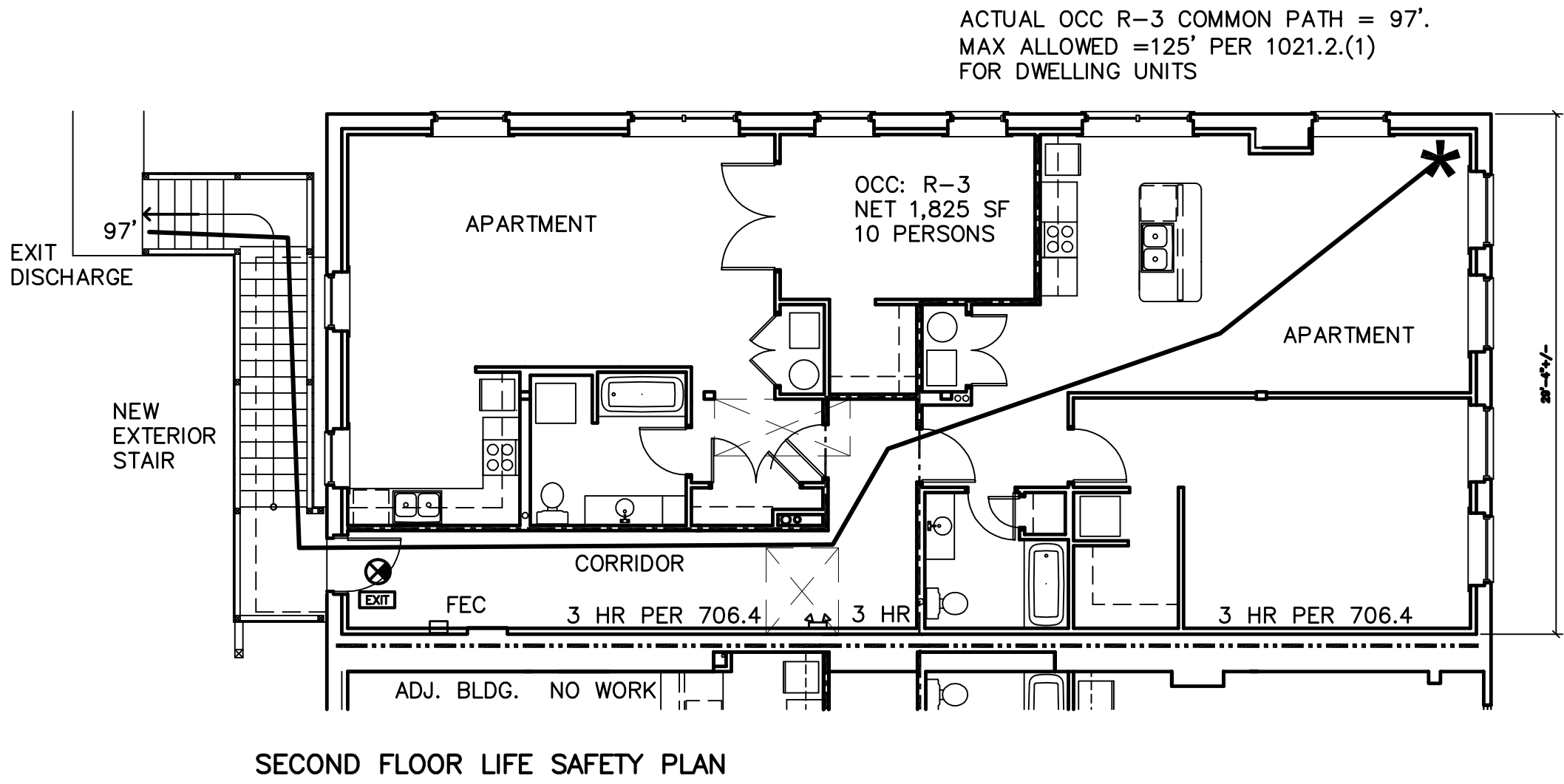
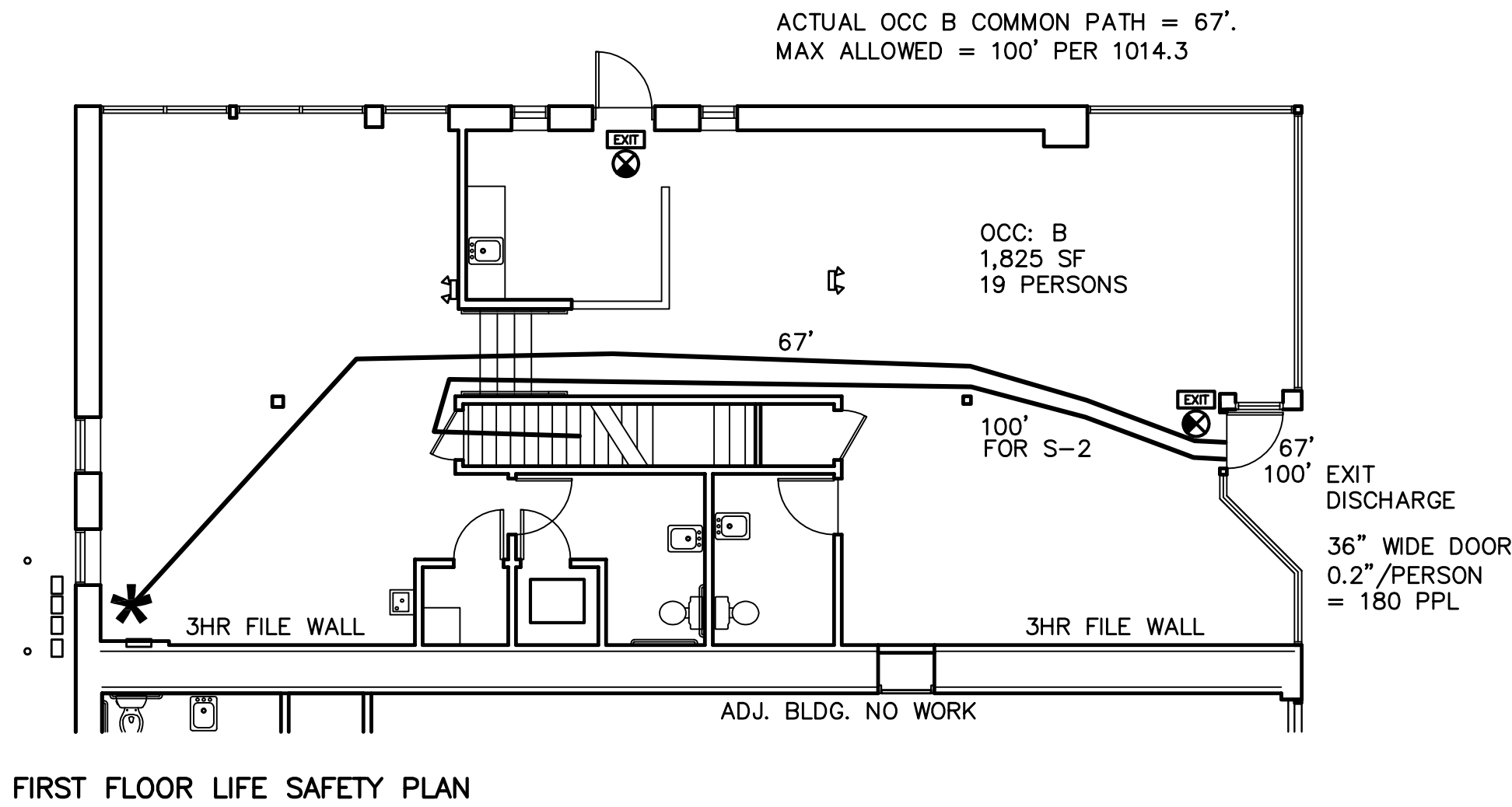
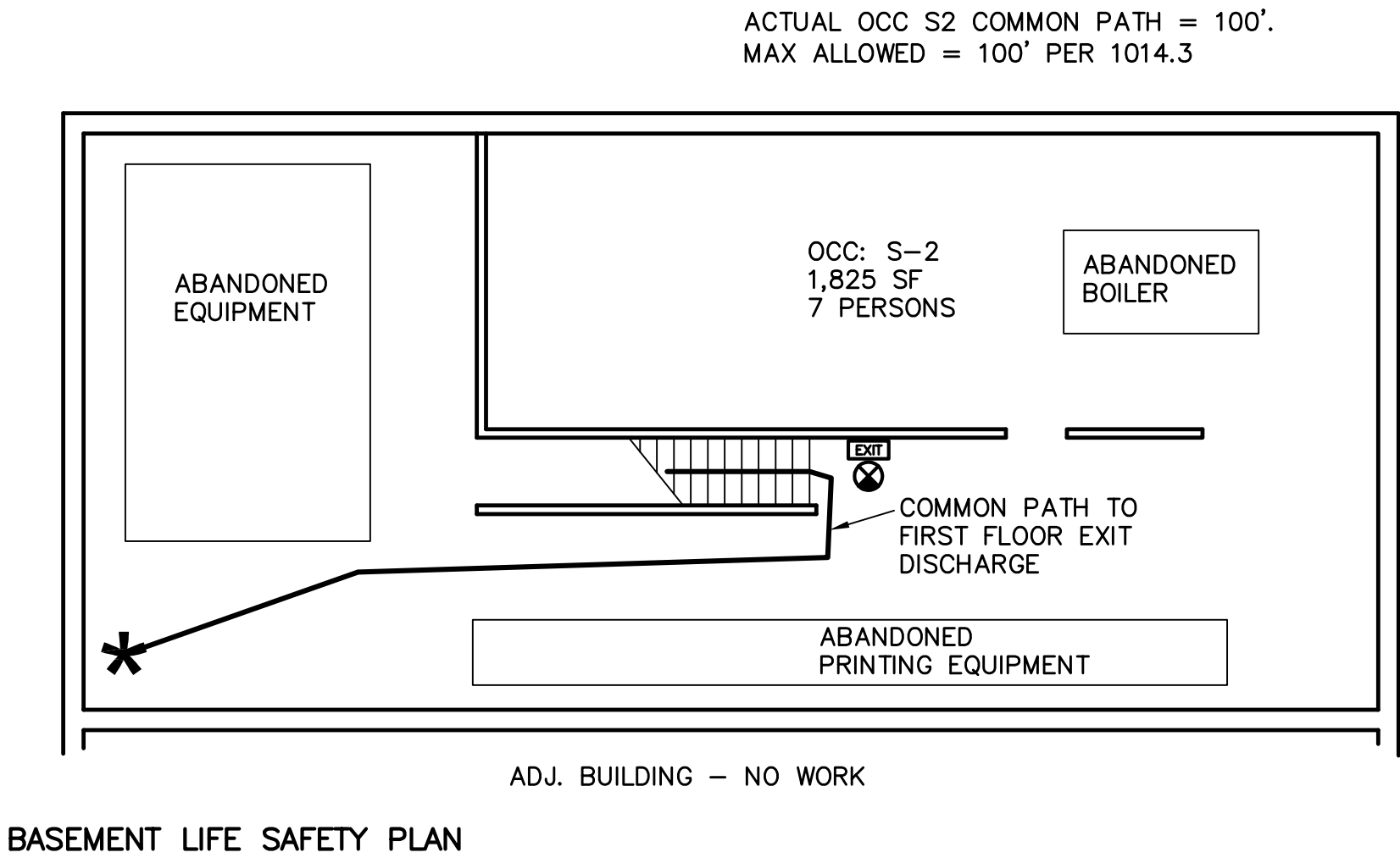
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Site Plan

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PATRICK LYNCH  
REGISTERED  
ARCHITECT  
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STATE OF INDIANA

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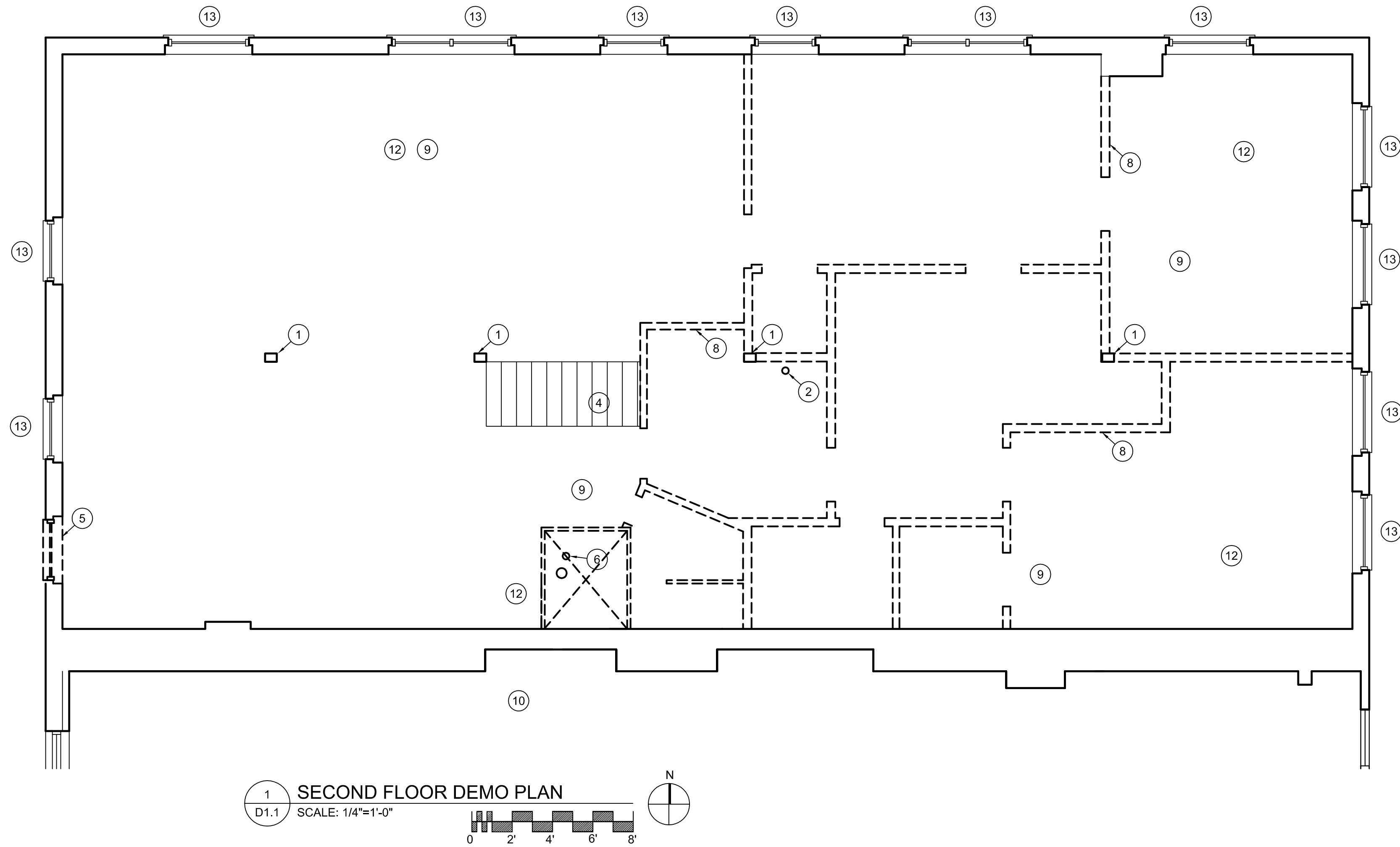
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Life Safety  
Plans

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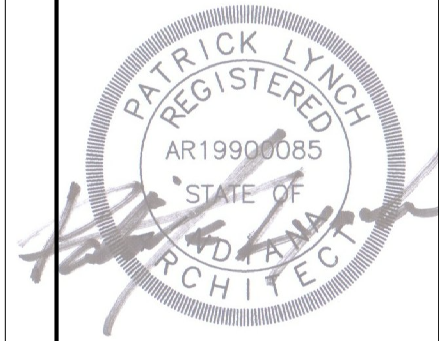
DEMOLITION NOTES

GENERAL NOTE:  
PRIOR TO DEMOLITION, INSPECT EXISTING STRUCTURE FOR: DAMAGE; DRY ROT.; LOOSE OR INADEQUATE FASTENERS TO POSTS AND BEARING POINTS; DAMAGED BRACING. REPORT ANY UNSAFE OR UNSTABLE CONDITIONS TO SBH IMMEDIATELY.  
PROVIDE TEMP. VERTICAL AND LATERAL BRACING AS REQUIRED.

- EXISTING STRUCTURAL COLUMNS TO REMAIN.
- EXISTING ROOF DRAIN PIPE TO BE RELOCATED. REFER TO ROOF PLAN FOR REVISED DRAIN FITTING.
- OPEN EXISTING MANSORY WALL TO CONNECT BUILDINGS. STEEL LINTEL ABOVE. CENTER NEW OPENING ON EXISTING ADJACENT CORRIDOR.
- EXISTING STAIRWAY TO BE ABANDONED. FRAME OVER WITH 2x10 12" OC W/ 3/4" PLYWOOD DECKING. INSULATED WITH FIBERGLASS BATT. PROTECT UNDERSIDE WITH 5/8" TYPE-X GWB.
- REMOVE WINDOW AND MODIFY MASONRY FOR NEW DOORWAY RO. 5" LIMESTONE SILL.
- EXISTING VENTS, ELECTRICAL, LINESETS, ETC. FOR FIRST FLOOR MECH. EQUIPMENT TO BE RELOCATED PER NEW WALL PLAN.
- REMOVE EXISTING FREIGHT ELEVATOR MECHANISM AND GUIDE WAYS AS REQ'D FOR NEW CONSTRUCTION. FRAME IN FLOOR OPENING SIMILAR TO AS DESCRIBED IN NOTE #4.
- DASHED LINES INDICATE WALL STRUCTURE TO BE REMOVED. ALWAYS INSPECT WALL PRIOR TO REMOVAL TO ENSURE THAT ADEQUATE DIRECT AND LATERAL SUPPORT FOR REMAINING BUILDING ELEMENTS WILL REMAIN. MAINTAIN ADEQUATE BEARING BELOW ROOF STRUCTURE. ADD BRACING AS REQ'D. NOT ALL COLUMNS AND SUPPORTS MAY BE SHOWN. CONTACT ARCHITECT IMMEDIATELY IF CONFLICTS OR STRUCTURAL ISSUES ARE FOUND.
- REMOVE LATHE AND PLASTER CEILING THROUGHOUT SECOND FLOOR AREA.
- ADJACENT EXISTING. NO WORK.
- ASSUME 320+/- SF OF TAPERED 2x SLEEPERS 16" OC AND 3/4" PLYWD DECKING TO BRING SUBFLOOR TO LEVEL IN MIDDLE 1/3 OF OVERALL FLOOR AREA.
- NEW 3/4" OSB DECKING SCREWED TO EXISTING FLOORING AT AREAS OUTSIDE OF RAISED FLOOR AREA DESCRIBED IN ITEM #11.
- EXISTING WINDOWS TO REMAIN.

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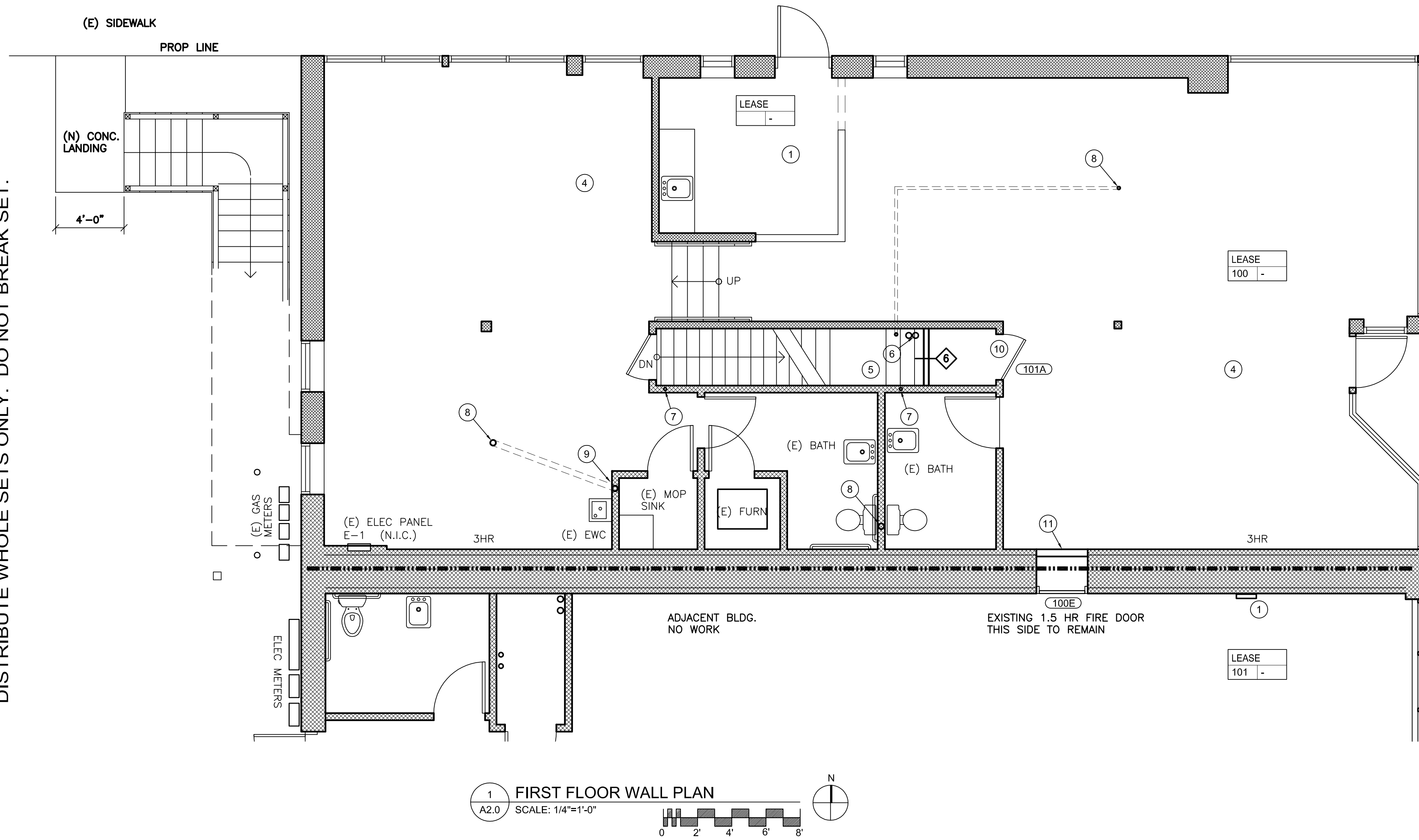
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Demolition  
Plan

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D1.1



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## DEMO NOTES

- 1 EXISTING FIRE ALARM PANEL.
- 2 NOT USED
- 3 NOT USED
- 4 EXISTING B OCCUPANCY. UNOCCUPIED.
- 5 EXISTING STAIR ABANDONED. SEE NOTES FOR INDICATED WALL TYPE.
- 6 ROOF DRAIN AND NEW OVERFLOW DRAIN LINES SCHEDULE TO BASEMENT.
- 7 PROVIDE CHASE FOR WATER LINES IN WALL FOR SECOND FLOOR APARTMENTS AND FIRE SPRINKLER. PATCH AND PAINT AS REQ'D.
- 8 SUGGESTED ROUTE FOR SECOND LEVEL PLUMBING ABOVE FIRST FLOOR ACT CEILING TO EXISTING
- 9 CUT AND PATCH EXISTING MASONRY AS REQ'D FOR NEW MECHANICAL. PAINT TO MATCH EXISTING.
- 10 ADJUST DOOR 101A TO CLOSE SMOOTHLY
- 11 REMOVE DOOR & FRAME AT OPENING AND INSTALL NEW 3-HOUR WALL ASSEMBLY INFILLED INTO EXISTING MASONRY ROUGH OPENING.  
ASSY TO BE PER UL U419 FOR 3 HOUR WALL.

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## 1st Floor Plan

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## A2.0

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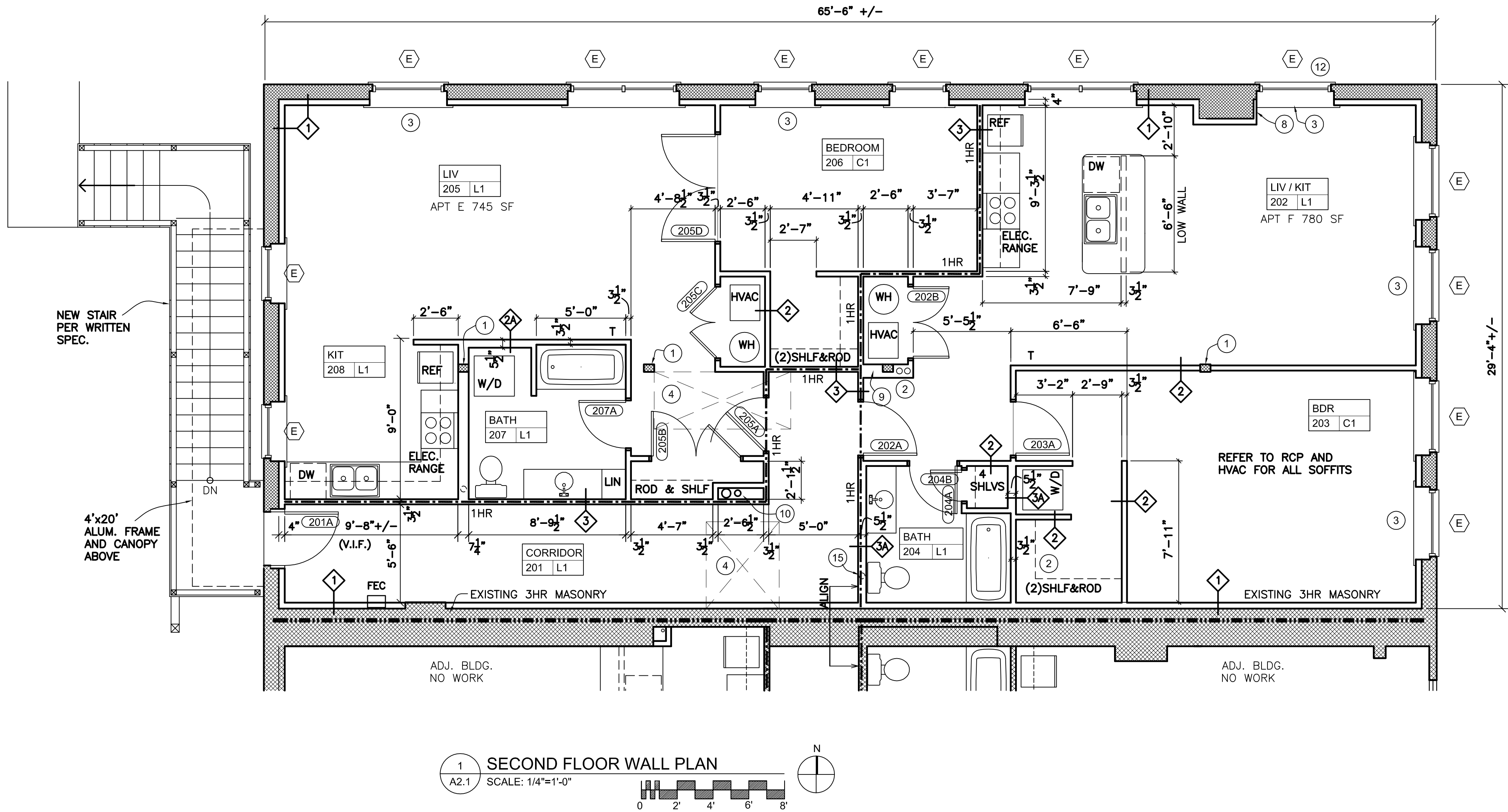
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WALL & FLOOR ASSEMBLY TYPES

- 1 1 LAYER TYVEK DRAINVENT AGAINST EXISTING MASONRY WALL. THEN, 2x4 16" OC SET 1" AWAY FROM EXISTING MASONRY WALL; DENSE PACK CELLULOSE BEHIND INSULWEB; 5/8" GWB ONE SIDE; TRIM AND FINISH PER SCHEDULE.
- 2 INTERIOR PARTITION: 2x4 16" OC W/ 5/8" GWB EACH SIDE. TRIM AND FINISH PER SCHEDULE.
- 3 2x6 16" OC W/ 5/8" GWB EACH SIDE. TRIM AND FINISH PER SCHEDULE.
- 4 1 HR PARTITION: 2x4 16" OC W/ SOUND ATTENUATION ROCKWOOL BATTING AND 5/8" GWB EACH SIDE. TRIM AND FINISH PER SCHEDULE. FULL HEIGHT TO UNDERSIDE OF ROOF DECK.
- 5 1 HR PARTITION: 2x6 16" OC W/ SOUND ATTENUATION BATTING AND 5/8" TYPE-X GWB EACH SIDE. TRIM AND FINISH PER SCHEDULE. FULL HEIGHT TO UNDERSIDE OF ROOF DECK.
- 6 LOW 2x4 WALL
- 7

EQUIPMENT NOTES

- FE 5LB ABC FIRE EXTINGUISHER. WALL HUNG.
- FEC RECESSED FIRE EXTINGUISHER CABINET W/ 10 LB ABC EXTINGUISHER

FIRE BARRIER SYMBOLS

- 2 HOUR SEPARATION. REFER TO NOTED WALL TYPE.
- 1 HOUR SEPARATION. REFER TO NOTED WALL TYPE.
- 3 HOUR SEPARATION. EXISTING MASONRY FIRE WALL BTW BUILDINGS.

2ND FLOOR PLAN NOTES

- 1 (1) LAYER 5/8" GWB AROUND 4 SIDES OF POST FROM FLOOR TO UNDERSIDE OF ROOF DECK. POST NEED NOT BE FLUSH W/ ADJ. NEW WALL.
- 2 ROOF DRAIN AND NEW OVERFLOW DRAIN RELOCATED TO VERTICAL CHASE THIS WALL.
- 3 NEW 1x4 CASING TRIM AT ALL WINDOWS. 5/4 WOOD SILL AND 1x4 APRON. MASONRY REPAIR AND STABILIZATION AS REQUIRED. 1X JAMB EXTENSIONS AS REQUIRED. PTD.
- 4 FRAME ACROSS ABANDONED OPENING. NEW 3/4" PLYWD DECKING FLUSH TO EXISTING FLOOR.
- 5 NO WORK THIS AREA U.O.N.
- 6 EXISTING FOLD DOWN ROOF ACCESS LADDER. NO WORK THIS AREA.
- 7 REMOVE EXISTING WINDOW AND REPLACE EXISTING STEEL LINTEL. REPAIR SURROUNDING MASONRY AND LINTEL BEARING. REPAIR DISPLACED PARAPET ABOVE. REWORK EXISTING ROOF MEMBRANE AS REQUIRED AT REPAIR SITE.
- 8 FURRING AT WALL ONLY AS REQ'D TO ACCOMMODATE WINDOW TRIM.
- 9 NFPA 13R SPRINKLER RISER AND WATER LINE
- 10 MECH VENTS TO ROOF FOR 1ST LVL EQUIPMENT RE-ROUTED TO THIS LOCATION
- 11 3" SCHED 40 PB SANITARY DRAIN; 3" PVC ELEC. CONDUIT; AND 3/4" PEX WATER SUPPLY LINE FROM BSMT TO SECOND FLOOR.
- 12 REPAIR BROKEN IG PANEL THIS WINDOW.

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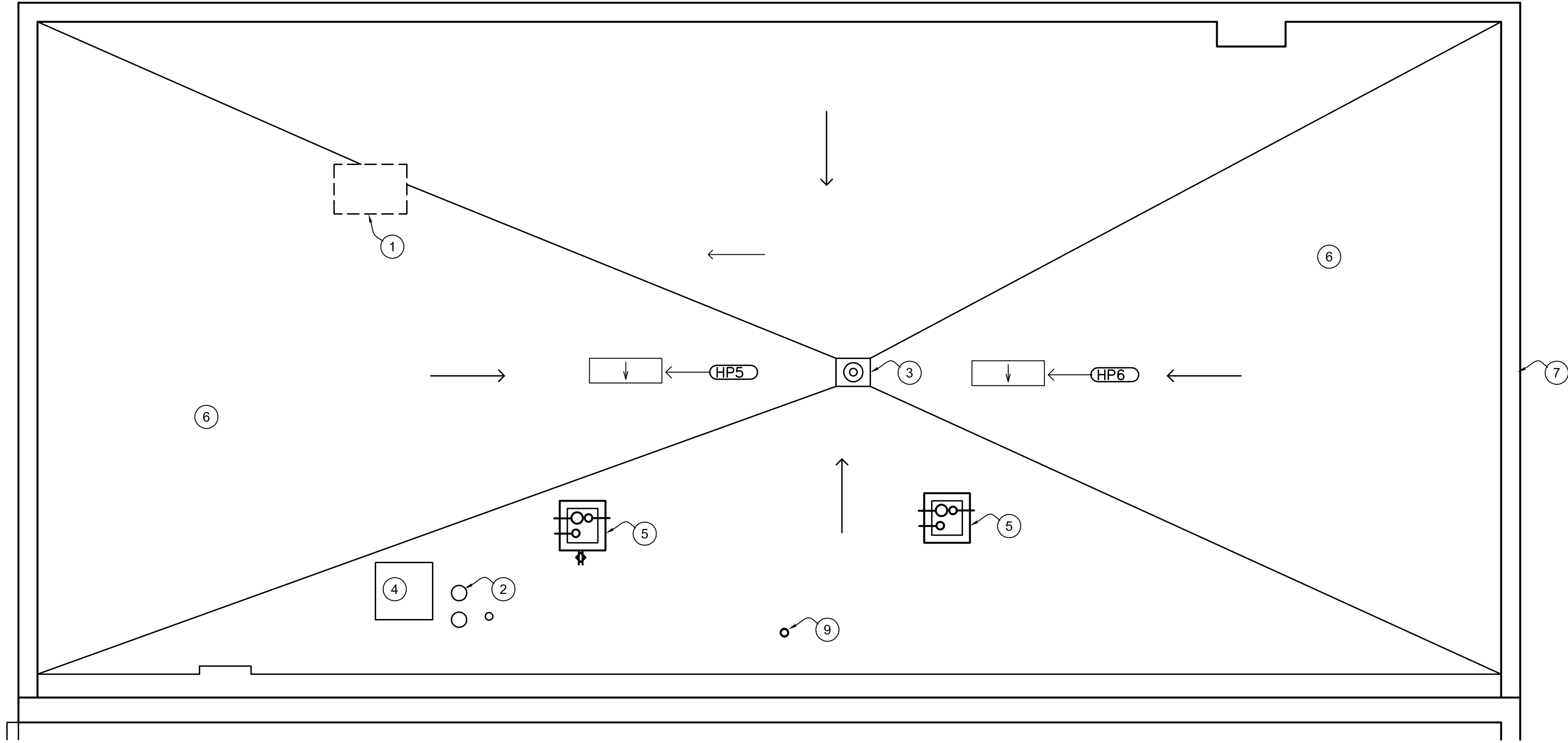
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1 ROOF PLAN  
A2.2 SCALE: 1/4"=1'-0"

ROOF PLAN NOTES

- EXISTING ROOF SCUTTLE MAY REMAIN.
- EXISTING 1ST FLR FURNACE PENETRATIONS TO REMAIN.
- FRAME AS REQ'D TO SUPPORT REPLACEMENT ROOF DRAIN THIS LOCATION. NEW DRAIN TO BE ZURN FROET C100 WITH OPTIONS AS NEEDED FOR EXISTING ROOF ASSEMBLY. DRAIN TO BE SEPARATED TO BASEMENT LEVEL.
- EXISTING AC COMPRESSOR FOR 1ST FLOOR TO REMAIN.
- NEW 24x24x12HT CURB. PROVIDE (3) VENT CAPS FOR DUCTS INDICATED ON HVAC PLAN M1.0.
- SILVERCOAT EXISTING ROOF. NEW PENETRATIONS AS REQUIRED.
- 
- REMOVE OBSOLETE HVAC VENTS. NOT ALL VENTS SHOWN. ROOFING CONTRACTOR TO REFER TO MEP DRAWINGS AND COORDINATE IN FIELD.
- EXISTING SANITARY STACK TO REMAIN

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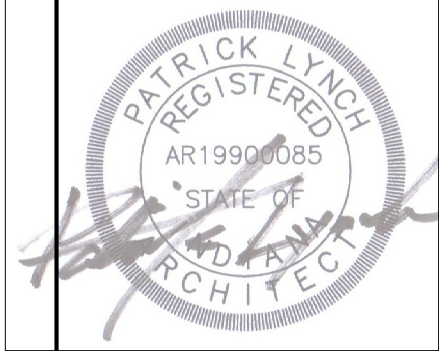
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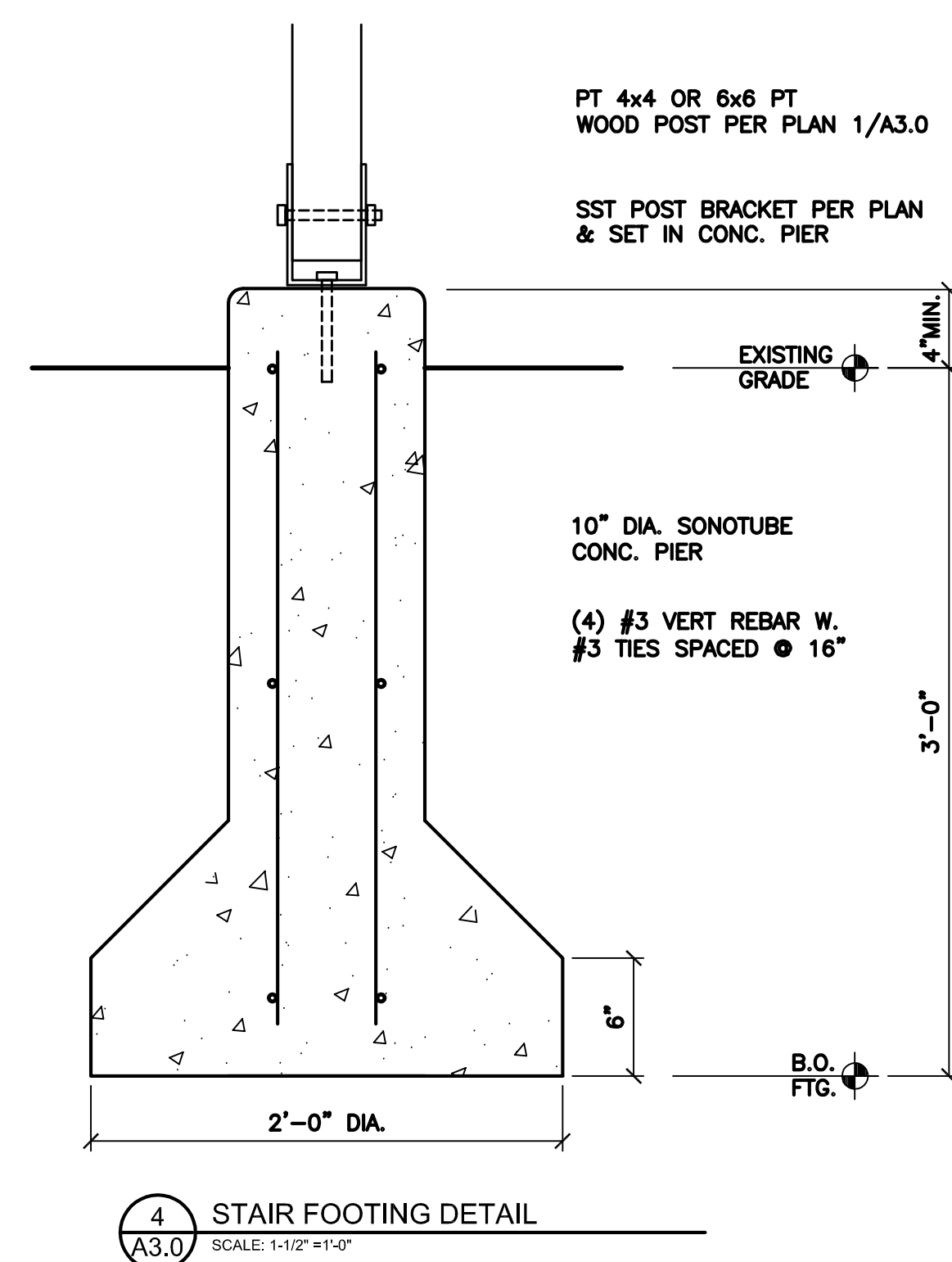
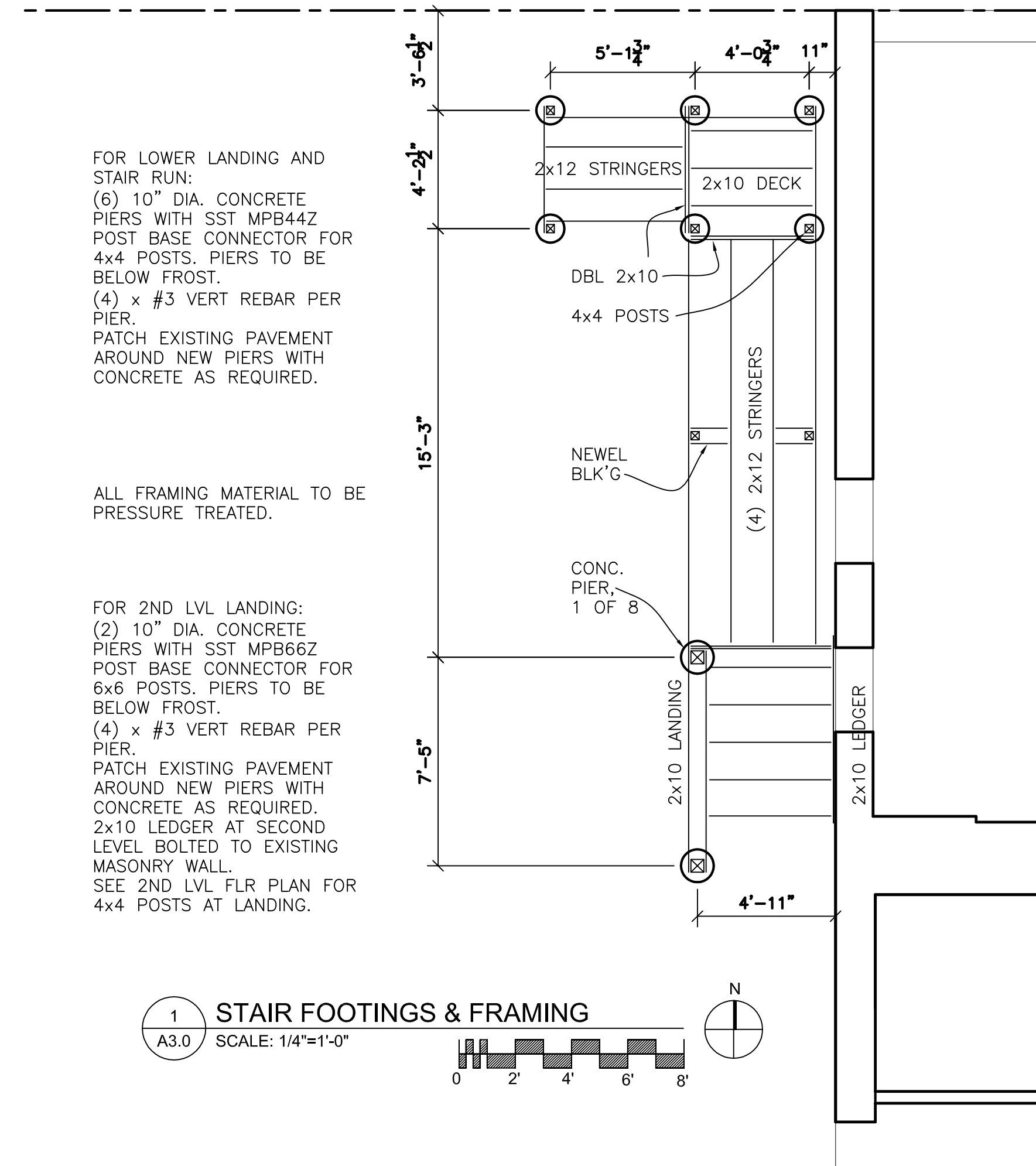
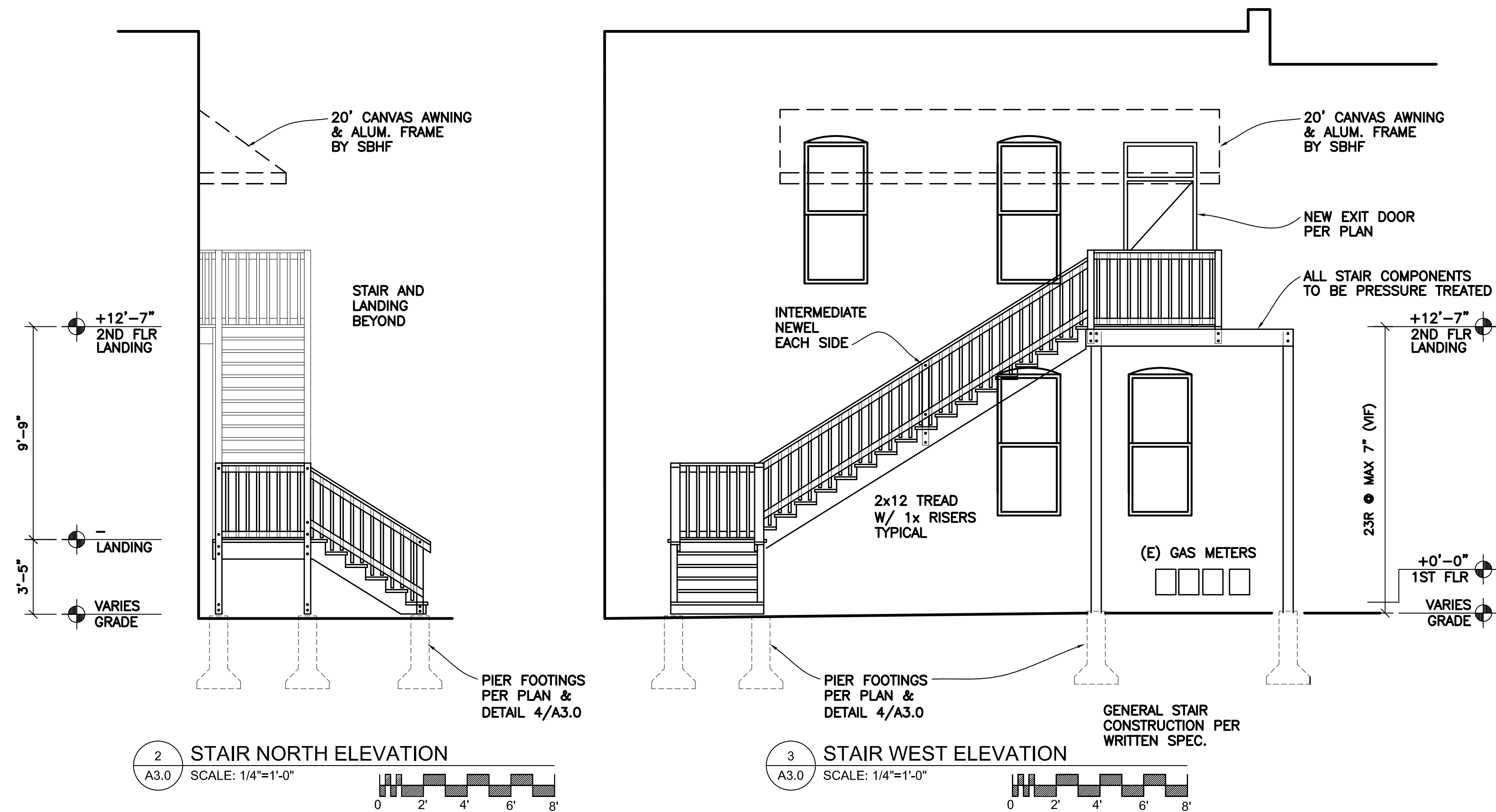
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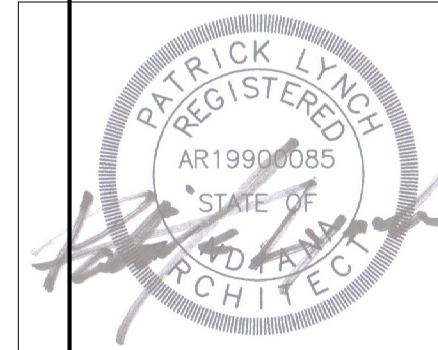
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Stairway

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A3.0



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## INTERIOR DOOR, FRAME, AND HARDWARE SCHEDULE

[illegible]

GENERAL DOOR NOTES:

1. INSPECT ALL LISTED INTERIOR AND EXTERIOR DOORS FOR SMOOTH CLOSURE AND LATCH. ADJUST AS REQUIRED.
2. INSPECT ALL DOORS LISTED AS USED. SOME ARE FUTURE CONST. COORDINATE SCHEDULES WITH FLOOR PLANS.
3. LEVER HARDWARE TO BE SCLAGE LEVER SETS. SERIES LOCKSETS OR OWNER APPROVED EQUAL. INCLUDE WALL MOUNTED OR INDOOR KEY LOCKSET THAT WILL CONTACT ADJACENT WALL WITHIN 1'10" FROM CLOSED.
4. ALL FIRE RATED DOORS TO RECEIVE AUTO CLOSERS AND SMOKE GASKETS
5. KEYING NOTES:  
EACH TENANT KEY TO BE UNIQUE. SINGLE MASTER FOR ALL APARTMENTS AND CHAPIN STREET ENTRY DOOR.
6. APARTMENT ENTRY HARDWARE  
EXISTING INTERCOM SYSTEM COORDINATION TO BE BY SBH.

### GENERAL HARDWARE NOTES:

1. ALL FIRE DOORS SHALL BEAR A PERMANENTLY AFFIXED LABEL SHOWING FIRE PROTECTION RATING PER 713.3
2. APPROVED FIRE DOOR HARDWARE AND DOOR FRAMES INCLUDING ANCHORAGE SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING PER 713.3
4. ALL FIRE RATED DOORS TO RECEIVE AUTO CLOSERS AND SMOKE GASKETS

## ROOM FINISH AND MATERIAL SCHEDULE

[illegible]

**BASE BID:**

FLOOR FINISHES (SEE SCHEDULE AND PLAN)

**BASE**

PAINT &amp; STAIN

G1	<del>NYLON LOOP OVER PAD OVER PLYWD DECK</del>
C2	NOT USED

B-1 5/8" x 5" COLONIAL WITH  
WOOD BASE SHOE EXCEPT AT CARPET  
PAINTED. COLOR: TBD

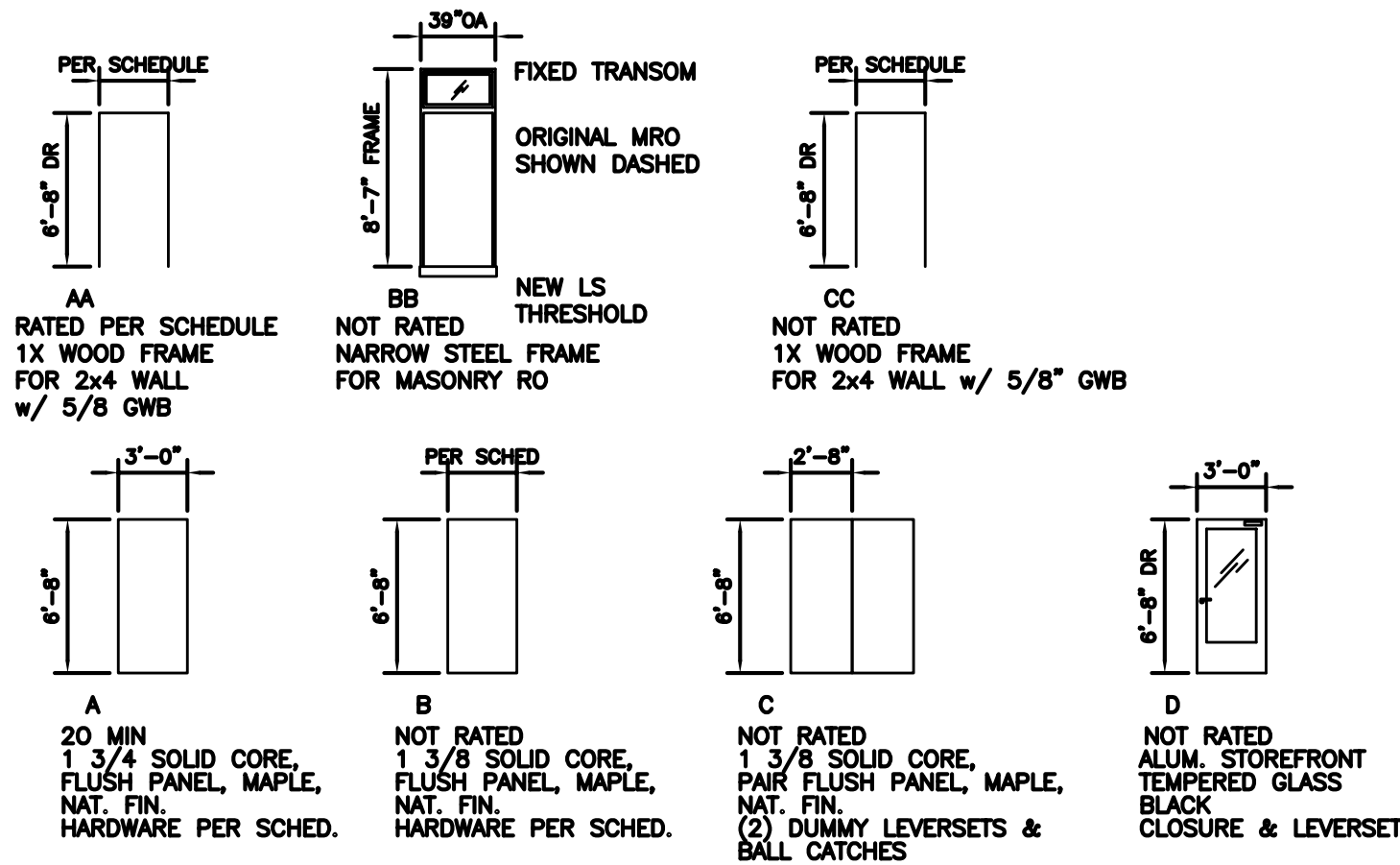
**S-1 STAIN 1: TBD**

P-1 PAINT 1: NEW GWB - PRIME + 2 COATS EGGSHELL / COLOR TBD

P-2 PAINT 2: NEW GWB W/ SMOOTH FINISH - PRIME + 2 COATS FLAT / COLOR TBD

**P-3 PAINT 3: NEW GWB - PRIME + 2 COATS EGGSHELL / ACCENT COLOR TBD**

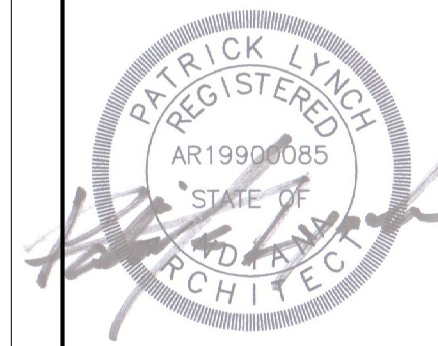
L1 LVT PLANK OVER HALEX "COMPOSITE" 4x4 UNDERLAYMENT.  
~~L2 12 x 12 LVT OVER HALEX "COMPOSITE" 4x4 UNDERLAYMENT.~~  
~~L3 LVT PLANK OVER HALEX "COMPOSITE" 4x4~~  
 UNDERLAYMENT AT LANDINGS.  
 ROPPE TYPE 16 VINYL TREAD/ RISER WITH ABRASIVE  
 INSERT AT STAIRS. COLOR TO BE DETERMINED.



## WINDOW TYPES

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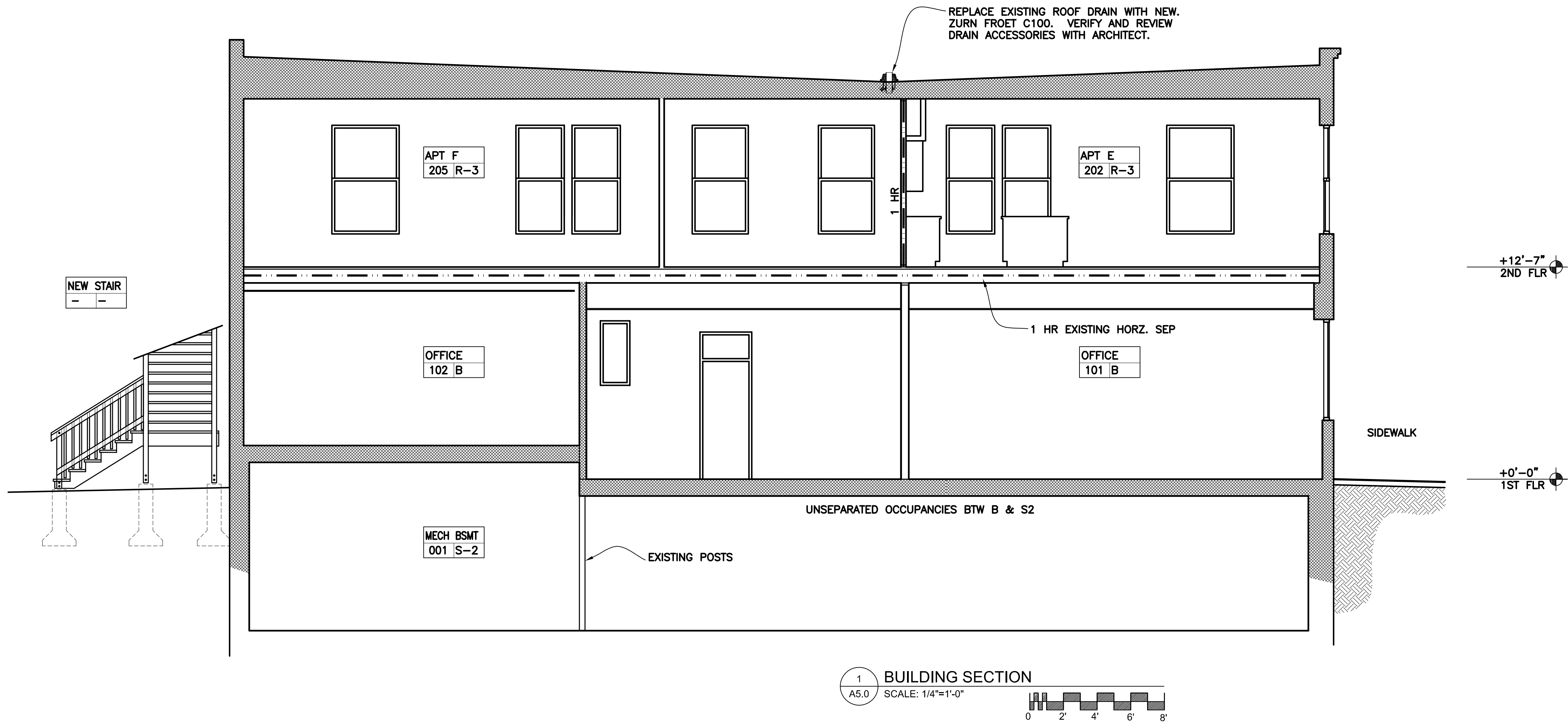
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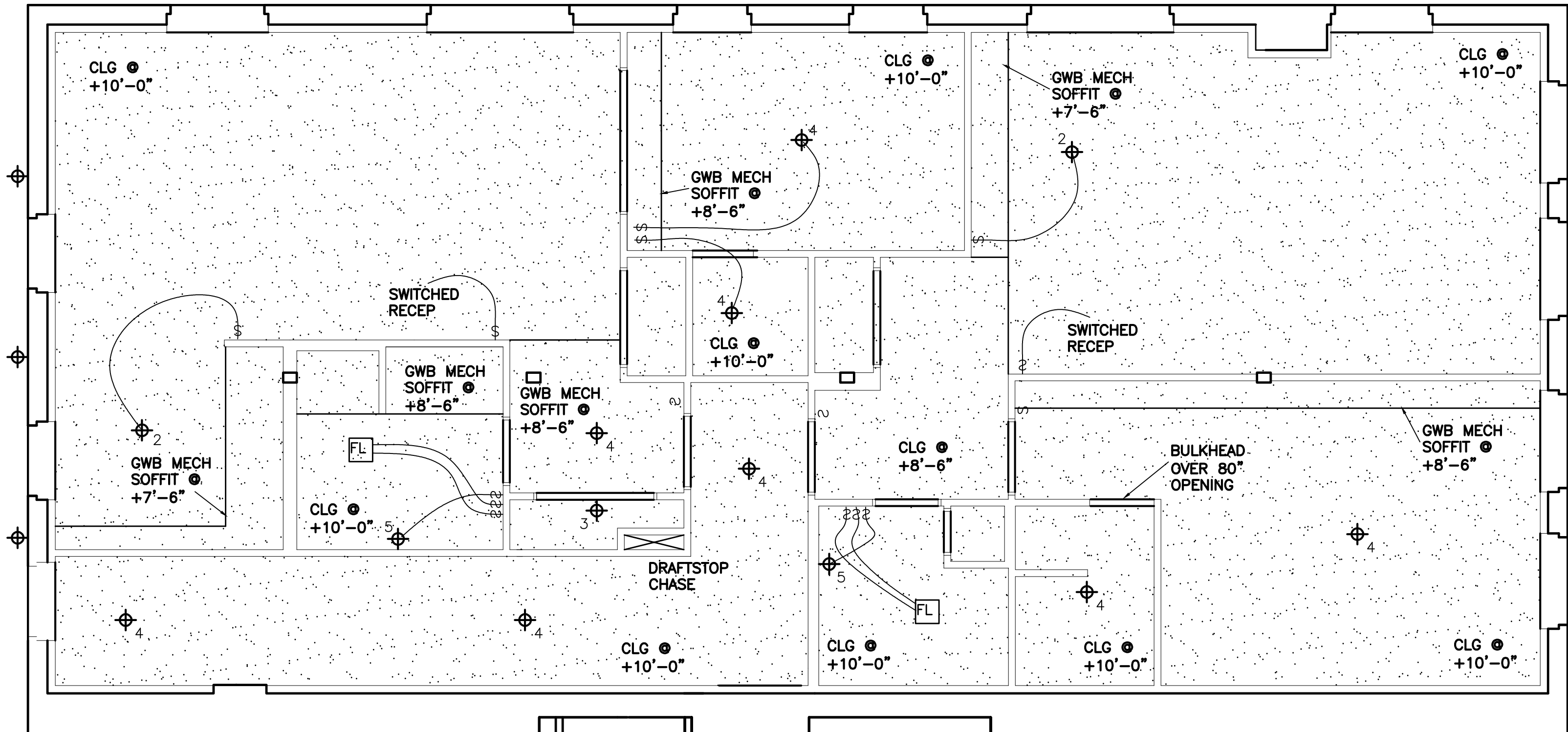
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NOTE:  
ALL SOFFITS TO  
BE FRAMED OVER  
GWB CEILINGS &  
WALLS. SOFFIT  
INTERIOR TO BE  
SEPARATED FROM  
ATTIC ABOVE



1 2ND FLR RCP & LIGHTING  
A6.1 SCALE: 1/4"=1'-0"

## ELECTRIC DEVICE SCHEDULE

### GENERAL NOTES:

ALL ELEC. BOXES TO BE RECESSED SUCH THAT DEVICE OR FIXTURE IS FLUSH WITH ADJACENT FINISHED SURFACE. NO SURFACE MOUNTED BOXES PERMITTED UNLESS SPECIFICALLY NOTED AS WIREMOLD.

REFER TO REFLECTED CEILING PLAN FOR LIGHTING.

PROVIDE ROOFTOP GFCI RECEPTACLE PER ROOF PLAN.

Color of switches, duplex receptacles, and similar devices and plates to be standard ivory unless noted otherwise.

C2 INTERCOM LOBBY DIALER UNIT MNFR:"LINEAR" AE100 AND DOOR MAGNETIC RELEASE

Δ CABLE AND DATA/TELE DEVICES IN 2 SEPARATE SIDE BY SIDE BOXES. EC TO PROVIDE TENANT TERMINATION JACKS FOR BOTH CABLE & CAT-6, EACH CAT-6 COMMUNICATION WIRE TO BE HOME-RUN TO TELEPHONE BOARD IN BSMT. EACH RG-60/U COAXIAL CABLE HOME-RUN TO EC PROVIDED TERMINATION BLOCK IN BASEMENT. EC IS RESPONSIBLE FOR TERMINATION OF TELE/DATA PAIRS AT A BASEMENT 12-PORT PATCH PANEL. EC TO CONNECT TELE/DATA WIRING TO THE NID (NETWORK INTERFACE DEVICE) DEMARKATION POINT.

⊕S DUPLEX RECEPTACLE +18" AFF UON. LOWER RECEP SWITCHED PER LIGHTING PLAN

⊕ DUPLEX RECEPTACLE +18" AT WALLS. +42 ABOVE KIT BACKSPLASH AND BEHIND REFRIGERATOR.

⊕ GFCI PROTECTED RECEP +42 AT KIT BACKSPLASH. +36 AT BATHROOM LAV. +34 BELOW COUNTER AT KIT ISLANDS.

⊕R RANGE OUTLET 208V WITH SEPARATE 120V CONNECTION TO 30" RANGE HOOD. RANGE HOOD TO BE BROAN AND VENTED TO EXTERIOR. PROVIDE HOOD WITH LED APPLIANCE LAMP HOOD FAN & LIGHT TO BE SWITCHED AT FIXTURE.

⊕DW PROVIDE RECEP IN SINK BASE CABINET. DISHWASHER TO BE HARDWIRED TO THIS RECEP. GARBAGE DISPOSAL TO BE PLUGGED INTO SAME RECEP. THIS SYMBOL INCLUDES A SINGLE POLE SWITCH LOCATED ABOVE THE COUNTERTOP FOR GARBAGE DISPOSAL OPERATION.

⊕Dwa SAME AS ⊕DW BUT ADA HEIGHT

⊕D ELEC. CLOTHES DRYER. REFER TO APPLIANCE SCHEDULE.

EP-x APARTMENT BREAKER PANEL PER SPEC. REFER TO PAGE E2.0.

⊕ EMERGENCY LIGHTING W/ BATTERY BACKUP MNFR: LITHONIA PRODUCT: ELM2 LED COLOR: WHITE

② SMOKE DETECTOR - HARDWIRED W/ BATTERY BACKUP. WITH AUDIBLE BASE. NOT TIED TO BLDG FACP. DUAL DETECTION TYPE. INTERCONNECTED WITHIN EACH APARTMENT PER CODE.

②3 STROBE, EITHER AS AN ACCESSORY TO THIS DEVICE OR BUILT INTO THE DEVICE, IS REQUIRED AT THIS LOCATION.

⊕FB FIRE BELL PROVIDED BY SPRINKLER CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR.

⊕EXIT LED EXIT INDICATOR WITH BATTERY BACKUP. COLOR: WHITE CLG MOUNT. GREEN TEXT. MNFR: LITHONIA PRODUCT: LE SERIES

⊕4 WALL MOUNTED FIXTURE. MARKED NUMBER INDICATES TYPE PER SCHEDULE

⊕2 SURFACE APPLIED FIXTURE. MARKED NUMBER INDICATES TYPE PER SCHEDULE

⊕FL MOTION FLOOD LIGHT W/ SWITCH OVERRIDE

⊕ FLUORESCENT FIXTURE - EXISTING

⊕ VENT FAN & SWITCH/CONTROL. REFER TO SCHEDULE

⊕ FAN/LIGHT COMBO & SWITCH CONTROL REFER TO SCHEDULE

\$ SWITCH NOTE: DOUBLE POLE SWITCH REQ'D FOR HVAC UNIT LOCATED ADJ TO INT UNIT. COORD. W/ HVAC.

⊕W WIREMOLD/LEGRAND 500 OR 700 SERIES. DEVICE INDICATED TO BE SURFACE MOUNTED BOX IN METALIC RACEWAY. COORD HT AFF IN FIELD. RUN POWER SEPARATE FROM DATA/COMM IN PARALLEL RACEWAY.

⊕ FAN - EXISTING

⊕FL FAN/LIGHT - NEW DUCT PER HVAC PLAN

⊕EXIT LED EXIT INDICATOR AS NOTED ABOVE. COMBINE WITH CODE REQ'D PATHWAY LIGHTING AT EXTERIOR ACTIVATED BY EXIT INDICATOR BATTERY. INTERIOR: COMPATIBLE LED EXIT INDICATOR EXTERIOR: LITHONIA "AFFINITY" MODEL: AFN-DB-EXT.

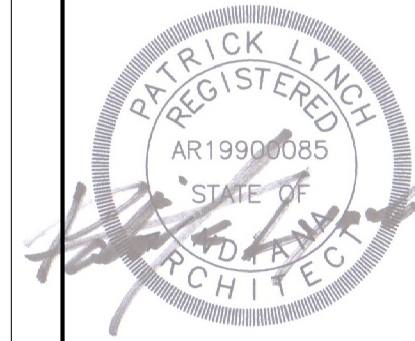
⊕WH WALL HUNG ELEC. WATER HEATER ABOVE ACT CEILING. LOWBOY 28 GALLON, 240V. CRAFTMASTER MHE2F3OLD045V OR APPROVED EQUAL WITH SIDE CONNECTIONS. (NOT TOP) WATTS "WM-26" WALL MOUNT RESTRAINT BRACKET.

⊕HV HVAC MINI-SPLIT ELECTRICAL CONNECTION. INTERIOR UNIT IS POWERED VIA ROOFTOP UNIT. ISOLATE ROOFTOP FROM INTERIOR UNIT WITH DOUBLE POLE WALL SWITCH.

\$ SWITCH - 120VAC DOUBLE POLE. WALL MOUNT AT +8'-6" AFF AND ABOVE ACT CLG. CLEARLY LABEL SWITCH AS HVAC DISCONNECT FOR INTERIOR COMPONENT.

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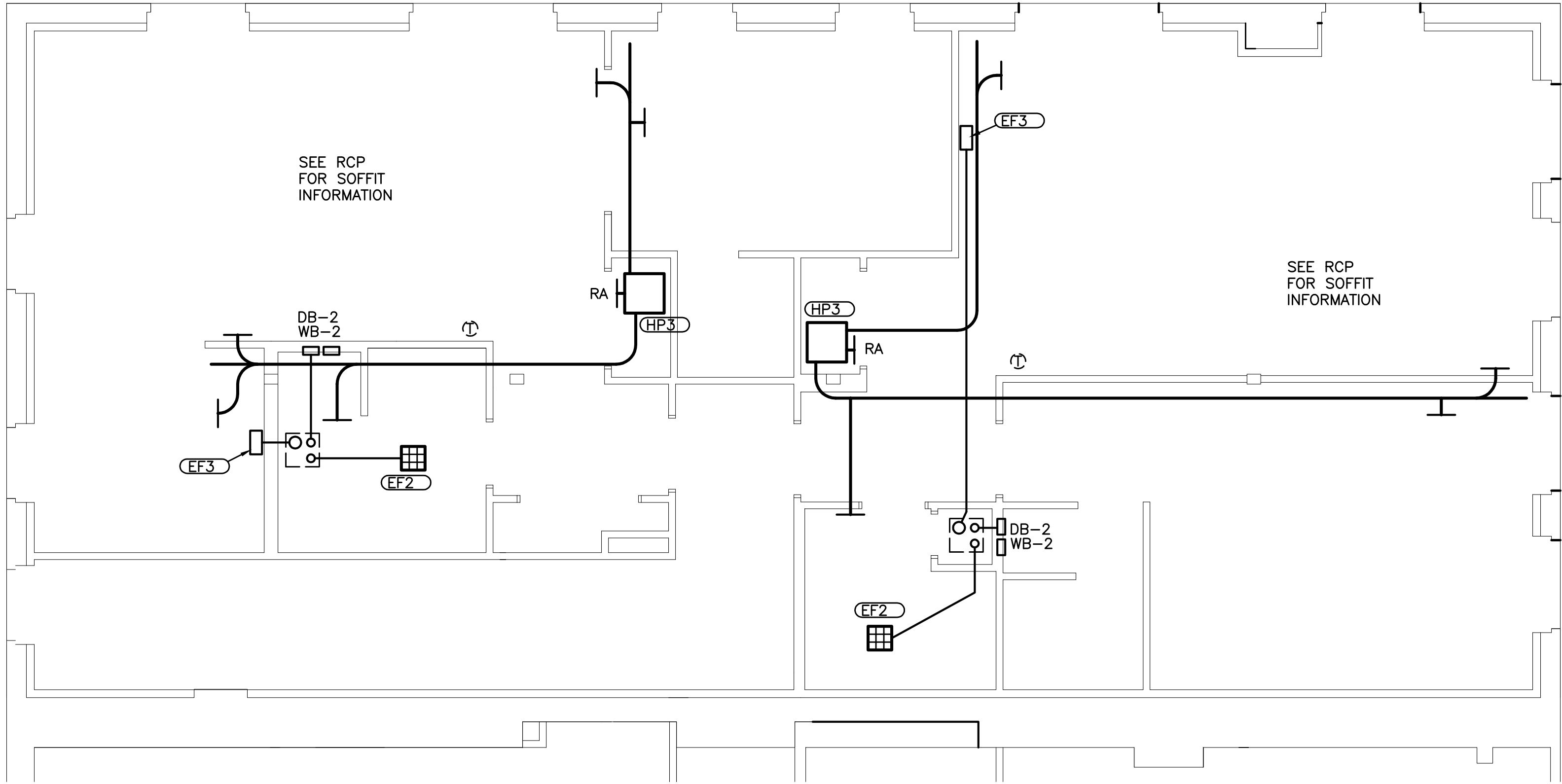
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### Lighting & Reflected Ceiling Plan

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A6.1

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1 SECOND FLOOR HVAC PLAN  
M1.0 SCALE: 1/4"=1'-0" 0 2' 4' 6' 8' N

SECOND FLOOR HVAC NOTES

- 1 REFER TO ROOF PLAN FOR ROOF CURB VENTS.
- 2 ALL RECESSED DRYER BOXES TO BE APPROVED FOR USE IN 1 HOUR RATED WALL.
- 3 RA FILTER GRILLES SIZED BY MC. APT. A IS CEILING MOUNTED. APT. B IS WALL MOUNTED.
- 4 METAL DUCT ONLY. NO FLEX DUCT PERMITTED THIS SYSTEM FOR SUPPLY, RETURN, OR EXHAUST AIR. ALL DUCTS TO BE AIR SEALED.
- 5 EC TO PROVIDE DOUBLE POLE SWITCH FOR EACH INTERIOR HVAC UNIT. LOCATE SWITCH IN J-BOX ABOVE CEILING

- HP1** NOT USED
- HP2** NOT USED
- HP3** MITSUBISHI - 30K BTU P-Series  
19.0 SEER Model: PVZ-A30NHA w/  
HYPER HEAT
- HP4** NOT USED
- EF1** NOT USED
- EF2** EXHAUST FAN - FAN LIGHT COMBINATION -  
BROAN ZB80L MOUNTED IN ACT.
- EF3** 30" RANGE HOOD EXHAUST FAN -  
BROAN DUCTED TO EXTERIOR. WHITE.
- EF4** NOT USED
- FR1** NOT USED

**SOUTH BEND HERITAGE FOUNDATION**

803 LINCOLN WAY WEST SOUTH BEND, IN 46616  
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**CHAPIN STREET APTS. E & F**  
301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

REVISIONS		
1	04-13-20	BLDG SECTION
2	07-01-20	R-3 FROM R-2

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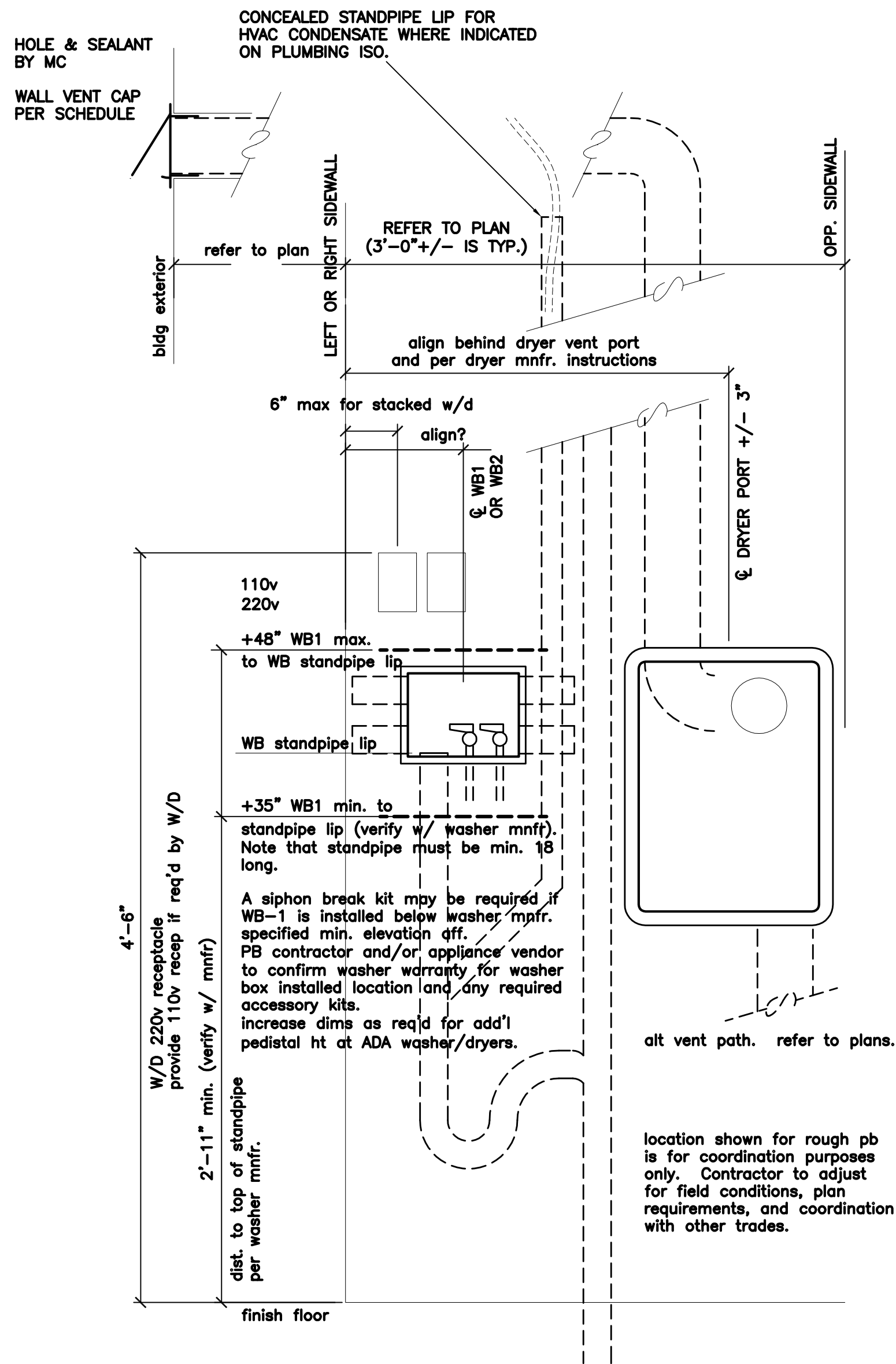
2nd Floor HVAC Plan

Sheet Number:

**M1.0**



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1 "LNDRY-1" ROUGH IN DIAGRAM  
M1.1 NOT TO SCALE MIRROR AS REQ'D PER COORDINATION; W/D CONFIGURATIONS; FIELD CONDITIONS

HVAC flex condensate drain by MC where occurs. Insert flex drain into PB installed 1.5" standpipe such that the end of the flex drain has a 12" min. vertical length. Terminate standpipe within 12" of HVAC ceiling unit or at wall plane behind wall unit. Coordinate final connection in the field. (Standpipe may also be plumbed at a different trapped drain closer to HVAC head unit. Coord. with MC.)

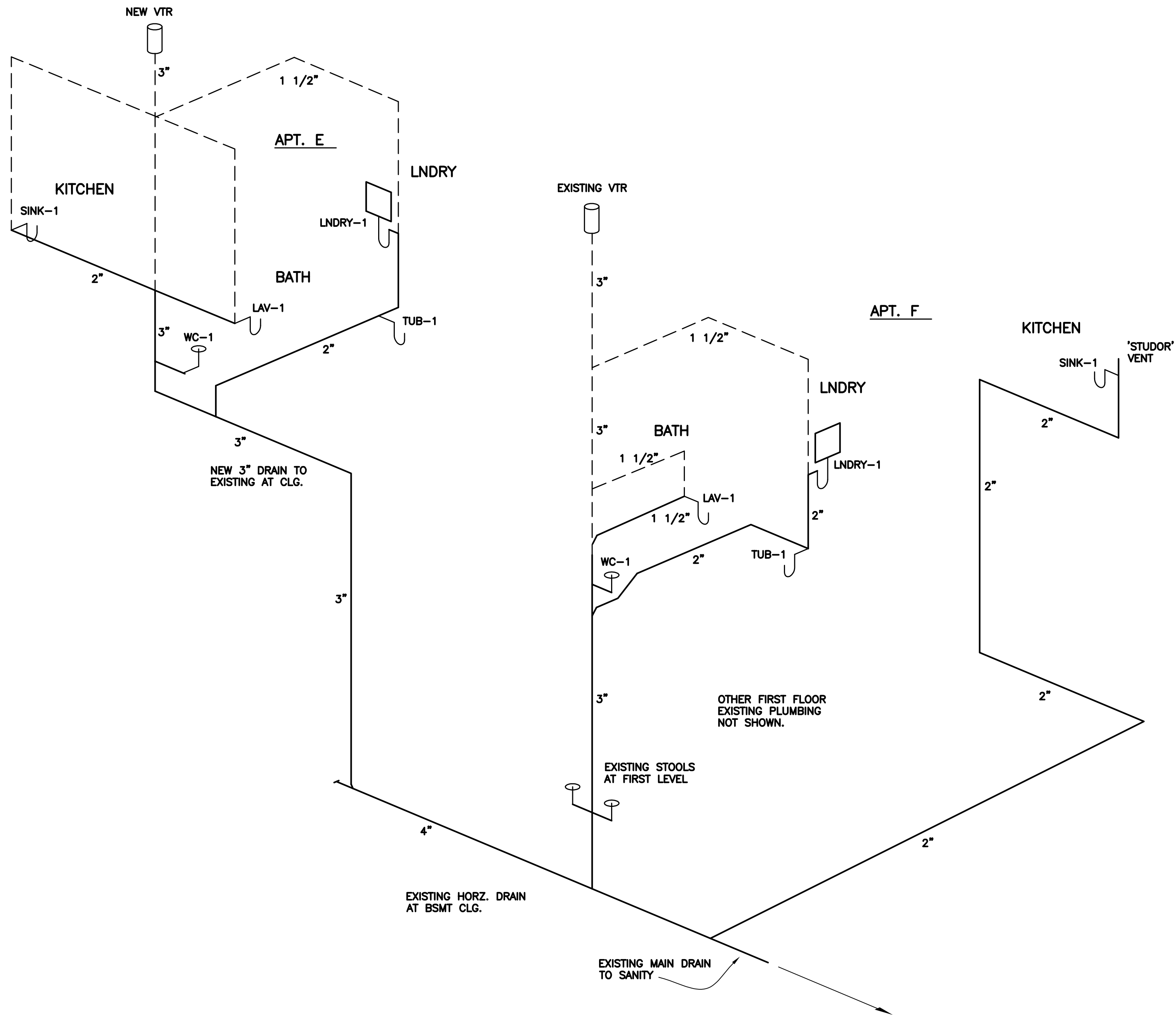
HVAC contractor (MC): provide and install dryer vent cap at exterior, cap per spec with integral backdraft damper. do not exceed max. allowable duct length and number of bends specified by dryer mnfr. coordinate hole at exterior with GC and/or siding contractor. HVAC contractor responsible for sealing and draftstopping around EXT WALL penetration. Refer to weathersealing spec. Duct installation and joints per spec.

general note: all mech contractors to coord. respective rough-ins at a single mutually agreed upon W/D location for approval by GC before proceeding with additional rough ins. REFER TO GENERAL SPECIFICATIONS FOR FIRE SEALANT AT VERTICAL PENETRATIONS AND METAL NAIL GUARD PLATES ON FRAMING.

HVAC contractor (MC): DB-1 Recessed dryer box for not rated wall. DB-2 Recessed dryer box for rated wall. Contractor to verify height of vent port for spec'd dryer unit - final verification of installed location of recessed dryer box is resp of HVAC contractor. Dryer installation manual to be provided by owner/architect at MC contractor's request. refer to plan for suggested duct route. note that some ducts may be routed from the top or bottom of the dryer box.

plumbing contractor (PB): WB-1 Recessed washer box for non-rated wall assembly. WB-2 Recessed washer box for rated wall. Vfy ht of lip to spec'd unit - final verification prior to installation of box is resp of PB contractor accessory product may be avail from W/D mnfr. to allow for a lower box installation

electrical contractor (EC): coord. power and recep. type with W/D model. Whip will be provided by W/D vendor.



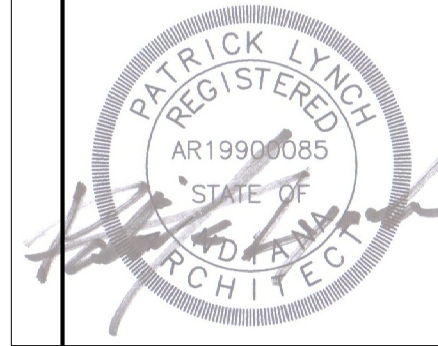
1 PB WASTE ISO E & F (301 CHAPIN)  
P1.0 SCALE: NTS VENTING SHOWN DASHED

2 PLUMBING SCHEDULE  
P1.0

TUB-1	TUB/SHOWER DRAIN
WC-1	WATER CLOSET - FLOOR MOUNTED
WC-2	EXISTING WATER CLOSET - NO WORK
FD-1	FLOOR DRAIN
LAV-1	LAV SINK AND ADA FAUCET
LNDRY-1	RECESSED LAUNDRY BOX
SINK-1	SS KITCHEN SINK W/ GAR DISP
MS-1	EXISTING MOP SINK
CO	CLEAN OUT

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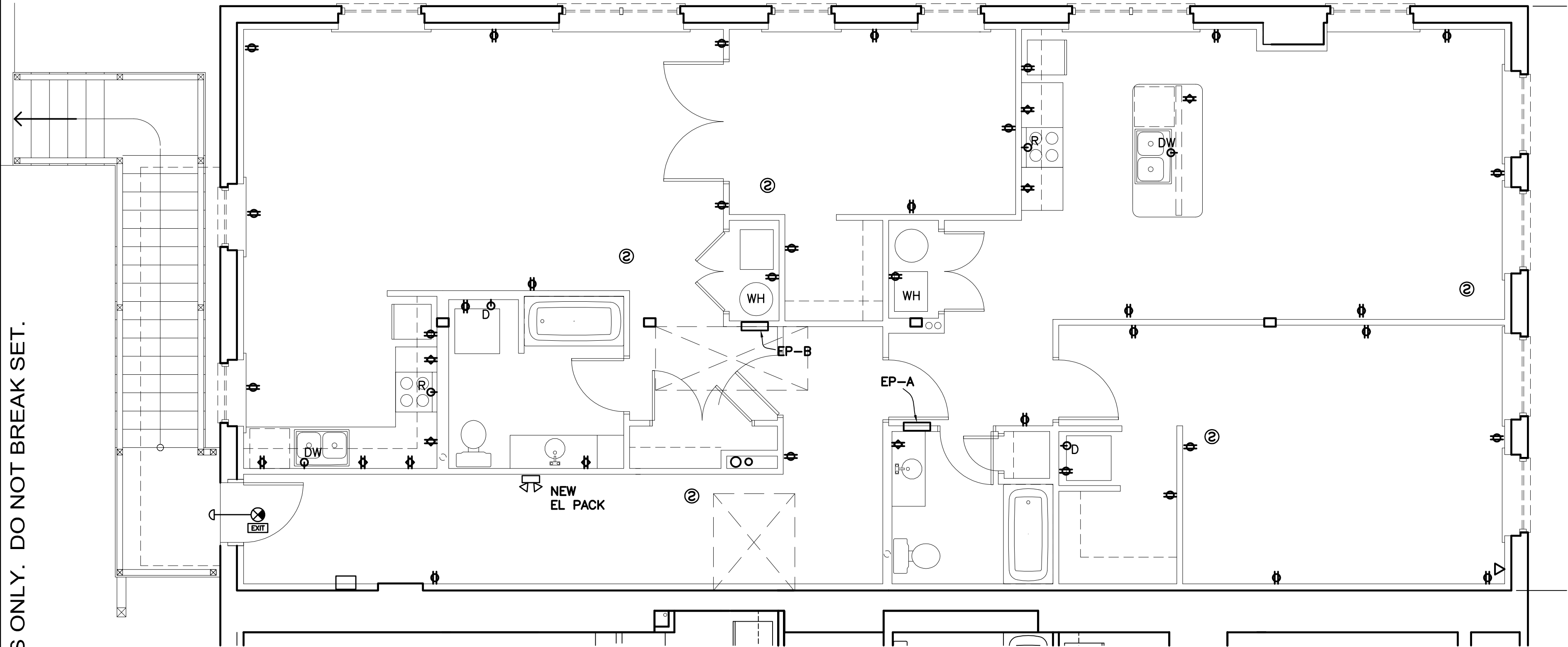
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Plumbing  
Isometric

Sheet Number:

P1.0

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1 SECOND FLR POWER & DATA PLAN  
E1.1 SCALE: 1/4"=1'-0"

## ELECTRIC DEVICE SCHEDULE

### GENERAL NOTES:

ALL ELEC. BOXES TO BE RECESSED SUCH THAT DEVICE OR FIXTURE IS FLUSH WITH ADJACENT FINISHED SURFACE. NO SURFACE MOUNTED BOXES PERMITTED UNLESS SPECIFICALLY NOTED AS WIREMOLD.

REFER TO REFLECTED CEILING PLAN FOR LIGHTING.

PROVIDE ROOFTOP GFIC RECEPTACLE PER ROOF PLAN.

Color of switches, duplex receptacles, and similar devices and plates to be standard ivory unless noted otherwise.

INTERCOM LOBBY DIALER UNIT MNFR:"LINEAR" AE100 AND DOOR MAGNETIC RELEASE

CABLE AND DATA/TELE DEVICES IN 2 SEPARATE SIDE BY SIDE BOXES. EC TO PROVIDE TENANT TERMINATION JACKS FOR BOTH CABLE & CAT-6, EACH CAT-6 COMMUNICATION WIRE TO BE HOME-RUN TO TELEPHONE BOARD IN BSMT. EACH RG-60/U COAXIAL CABLE HOME-RUN TO EC PROVIDED TERMINATION BLOCK IN BASEMENT. EC IS RESPONSIBLE FOR TERMINATION OF TELE/DATA PAIRS AT A BASEMENT 12-PORT PATCH PANEL. EC TO CONNECT TELE/DATA WIRING TO THE NID (NETWORK INTERFACE DEVICE) DEMARKATION POINT.

DUPLEX RECEPTACLE +18" AFF UON. LOWER RECEP SWITCHED PER LIGHTING PLAN

DUPLEX RECEPTACLE +18" AT WALLS. +42 ABOVE KIT BACKSPLASH AND BEHIND REFRIGERATOR.

GFIC PROTECTED RECEP +42 AT KIT BACKSPLASH. +36 AT BATHROOM LAV. +34 BELOW COUNTER AT KIT ISLANDS.

RANGE OUTLET 208V WITH SEPARATE 120V CONNECTION TO 30" RANGE HOOD. RANGE HOOD TO BE BROAN AND VENTED TO EXTERIOR. PROVIDE HOOD WITH LED APPLIANCE LAMP HOOD FAN & LIGHT TO BE SWITCHED AT FIXTURE.

PROVIDE RECEP IN SINK BASE CABINET. DISHWASHER TO BE HARDWIRED TO THIS RECEP. GARBAGE DISPOSAL TO BE PLUGGED INTO SAME RECEP. THIS SYMBOL INCLUDES A SINGLE POLE SWITCH LOCATED ABOVE THE COUNTERTOP FOR GARBAGE DISPOSAL OPERATION.

SAME AS BUT ADA HEIGHT

ELEC. CLOTHES DRYER. REFER TO APPLIANCE SCHEDULE.

APARTMENT BREAKER PANEL PER SPEC. REFER TO PAGE E2.0.

EMERGENCY LIGHTING W/ BATTERY BACKUP MNFR: LITHONIA PRODUCT: ELM2 LED COLOR: WHITE

SMOKE DETECTOR - HARDWIRED W/ BATTERY BACKUP. WITH AUDIBLE BASE. NOT TIED TO BLDG FACP. DUAL DETECTION TYPE. INTERCONNECTED WITHIN EACH APARTMENT PER CODE.

STROBE, EITHER AS AN ACCESSORY TO THIS DEVICE OR BUILT INTO THE DEVICE, IS REQUIRED AT THIS LOCATION.

FIRE BELL PROVIDED BY SPRINKLER CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR.

LED EXIT INDICATOR WITH BATTERY BACKUP. COLOR: WHITE CLG MOUNT. GREEN TEXT. MNFR: LITHONIA PRODUCT: LE SERIES

WALL MOUNTED FIXTURE. MARKED NUMBER INDICATES TYPE PER SCHEDULE

SURFACE APPLIED FIXTURE. MARKED NUMBER INDICATES TYPE PER SCHEDULE

MOTION FLOOD LIGHT W/ SWITCH OVERRIDE

FLUORESCENT FIXTURE - EXISTING

VENT FAN & SWITCH/CONTROL. REFER TO SCHEDULE

FAN/LIGHT COMBO & SWITCH CONTROL REFER TO SCHEDULE

SWITCH NOTE: DOUBLE POLE SWITCH REQ'D FOR HVAC UNIT LOCATED ADJ TO INT UNIT. COORD. W/ HVAC.

WIREMOLD/LEGRAND 500 OR 700 SERIES. DEVICE INDICATED TO BE SURFACE MOUNTED BOX IN METALIC RACEWAY. COORD HT AFF IN FIELD. RUN POWER SEPARATE FROM DATA/COMM IN PARALLEL RACEWAY.

FAN - EXISTING

FAN/LIGHT - NEW DUCT PER HVAC PLAN

LED EXIT INDICATOR AS NOTED ABOVE. COMBINE WITH CODE REQ'D PATHWAY LIGHTING AT EXTERIOR ACTIVATED BY EXIT INDICATOR BATTERY. INTERIOR: COMPATIBLE LED EXIT INDICATOR EXTERIOR: LITHONIA "AFFINITY" MODEL: AFN-DB-EXT.

WALL HUNG ELEC. WATER HEATER ABOVE ACT CEILING. LOWBOY 28 GALLON, 240V. CRAFTMASTER MHE2F3OLD045V OR APPROVED EQUAL WITH SIDE CONNECTIONS. (NOT TOP) WATTS "WM-26" WALL MOUNT RESTRAINT BRACKET.

HVAC MINI-SPLIT ELECTRICAL CONNECTION. INTERIOR UNIT IS POWERED VIA ROOFTOP UNIT. ISOLATE ROOFTOP FROM INTERIOR UNIT WITH DOUBLE POLE WALL SWITCH.

SWITCH - 120VAC DOUBLE POLE. WALL MOUNT AT +8'-6" AFF AND ABOVE ACT CLG. CLEARLY LABEL SWITCH AS HVAC DISCONNECT FOR INTERIOR COMPONENT.

### POWER / COMM PLAN NOTES

- ASSUME TELE/DATA DEMARK IN BASEMENT OF 303. UTILITY SERVICE WORK COORDINATED BY SHBF.
- GC TO PROVIDE TWO 2" PVC CONDUITS TO ROOF FROM BASEMENT AS NOTED ON ROOF PLAN.
- PROVIDE 120VAC CIRCUIT AT TELE/DATA DEMARK IN BASEMENT OF 303 FOR CONTRACTOR USE. NO GFI.

NOT USED

NOT USED

ROOFTOP POWER PLAN NOT SHOWN. PROVIDE (2) GFIC RECEPTACLES IN WEATHER BOXES ON ROOF.

PROVIDE (2) 2" PVC CONDUIT TO ROOFTOP FOR DISH-TV VENDOR TO RUN COAXIAL TO PANEL IN 303 BSMT. REFER TO ROOF PLAN.

EC IS RESPONSIBLE FOR ANY ADDITIONAL RECEPS REQUIRED TO MEET CODE.

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Second Floor  
Power/Data

Sheet Number:

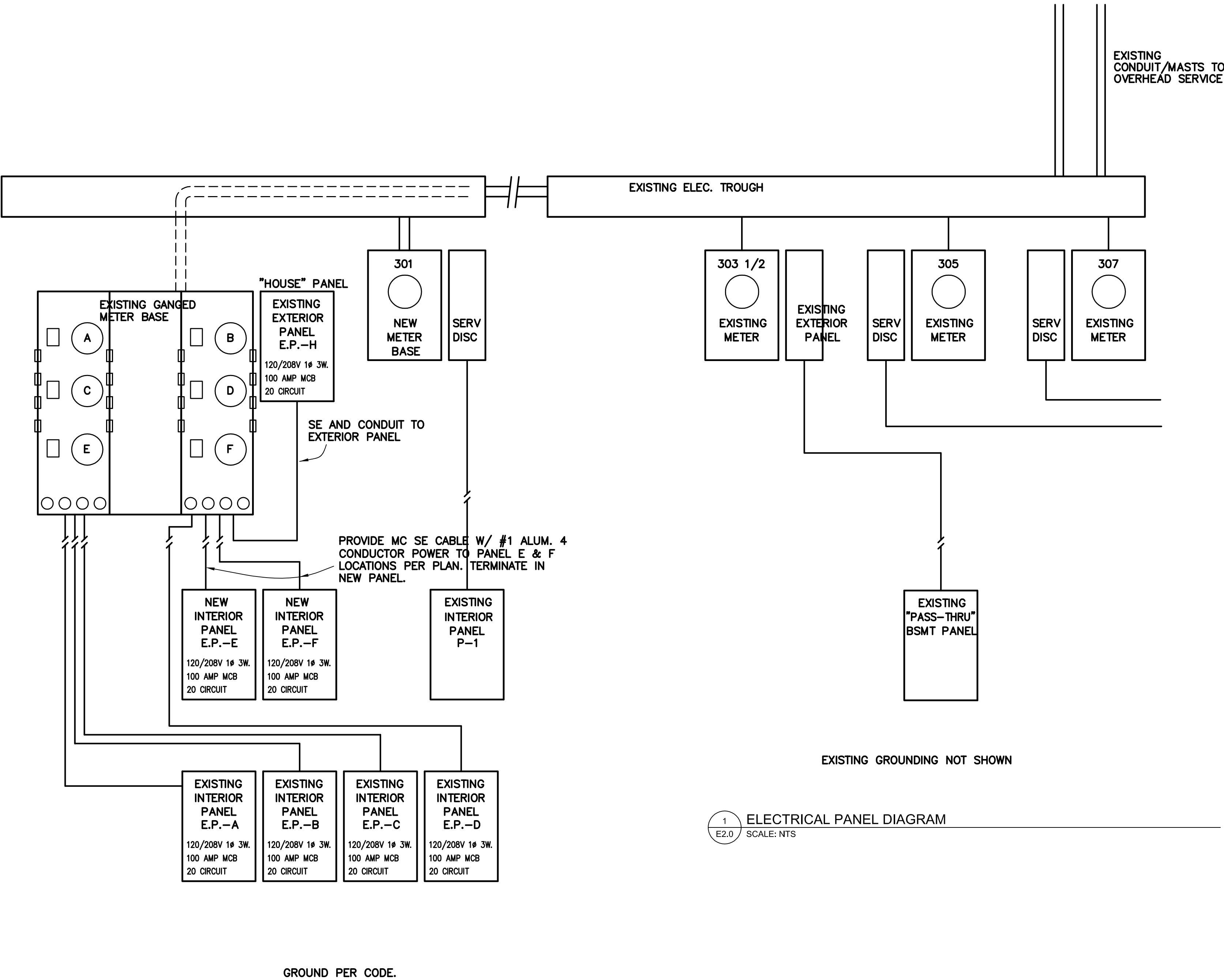
E1.1



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PANEL E.P.-E100 AMP (NEW PANEL)											
CIRC. NO.		NO. POLES	TRIP AMPS	FLA	VOLTS	TRIP AMPS	NO. POLES	FLA	VOLTS		CIRC. NO.
1	BEDROOM/SLEEPING AREA RECEPTS	1	15		120	20	1		120	WASHER	2
3	LIVING AREA RECEPTS	1	15		120	30	1		240	DRYER	4
5	KITCHEN GENERAL RECEPTS (REFR)	1	20								6
7	GENERAL LIGHTING 1	1	15			30	1		240	HVAC	8
9	GENERAL LIGHTING 2	1	15								10
11	KITCHEN 1ST GFI	1	20		120	30	1		240	RANGE	12
13	KITCHEN 2ND GFI	1	20		120						14
15	BATHROOM GFI	1	20		120	20	1		240	WATER HEATER	16
17	SMOKE DETECTORS	1	15		120						18
19	KITCHEN ISLAND GFIC	1	20		120	15	1		120	GAR DISP & DISHWASHER	20

PANEL E.P.-F100 AMP (NEW PANEL)											
CIRC. NO.		NO. POLES	TRIP AMPS	FLA	VOLTS	TRIP AMPS	NO. POLES	FLA	VOLTS		CIRC. NO.
1	BEDROOM/SLEEPING AREA RECEPTS	1	15		120	20	1		120	WASHER	2
3	LIVING AREA RECEPTS	1	15		120	30	1		240	DRYER	4
5	KITCHEN GENERAL RECEPTS (REFR)	1	20								6
7	GENERAL LIGHTING 1	1	15			30	1		240	HVAC	8
9	GENERAL LIGHTING 2	1	15								10
11	KITCHEN 1ST GFI	1	20		120	30	1		240	RANGE	12
13	KITCHEN 2ND GFI	1	20		120						14
15	BATHROOM GFI	1	20		120	20	1		240	WATER HEATER	16
17	SMOKE DETECTORS	1	15		120						18
19	KITCHEN ISLAND GFIS	1	20		120	15	1		120	GAR DISP & DISHWASHER	20



1 ELECTRICAL PANEL DIAGRAM  
E2.0 SCALE: NTS

PANEL E.P.-H100 AMP (EXHISTING PANEL)											
CIRC. NO.		NO. POLES	TRIP AMPS	FLA	VOLTS	TRIP AMPS	NO. POLES	FLA	VOLTS		CIRC. NO.
1	CORR LIGHTING SOUTH / EL LIGHTS	1	15		120	15	1		120	EXTERIOR LIGHTING	2
3	CORRIDOR RECEPTS	1	20		120						4
5	INTERCOM/DIALER	1	15		120						6
7	COMMON AREA SMOKE DETECTORS	1	15		120						8
9	CORR LIGHTING NORTH / EL LIGHTS	1	15		120						10
11											12
13											14
15											16
17											18
19											20

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CHAPIN STREET APTS. E & F

301 SO. CHAPIN STREET, SOUTH BEND, IN 46601

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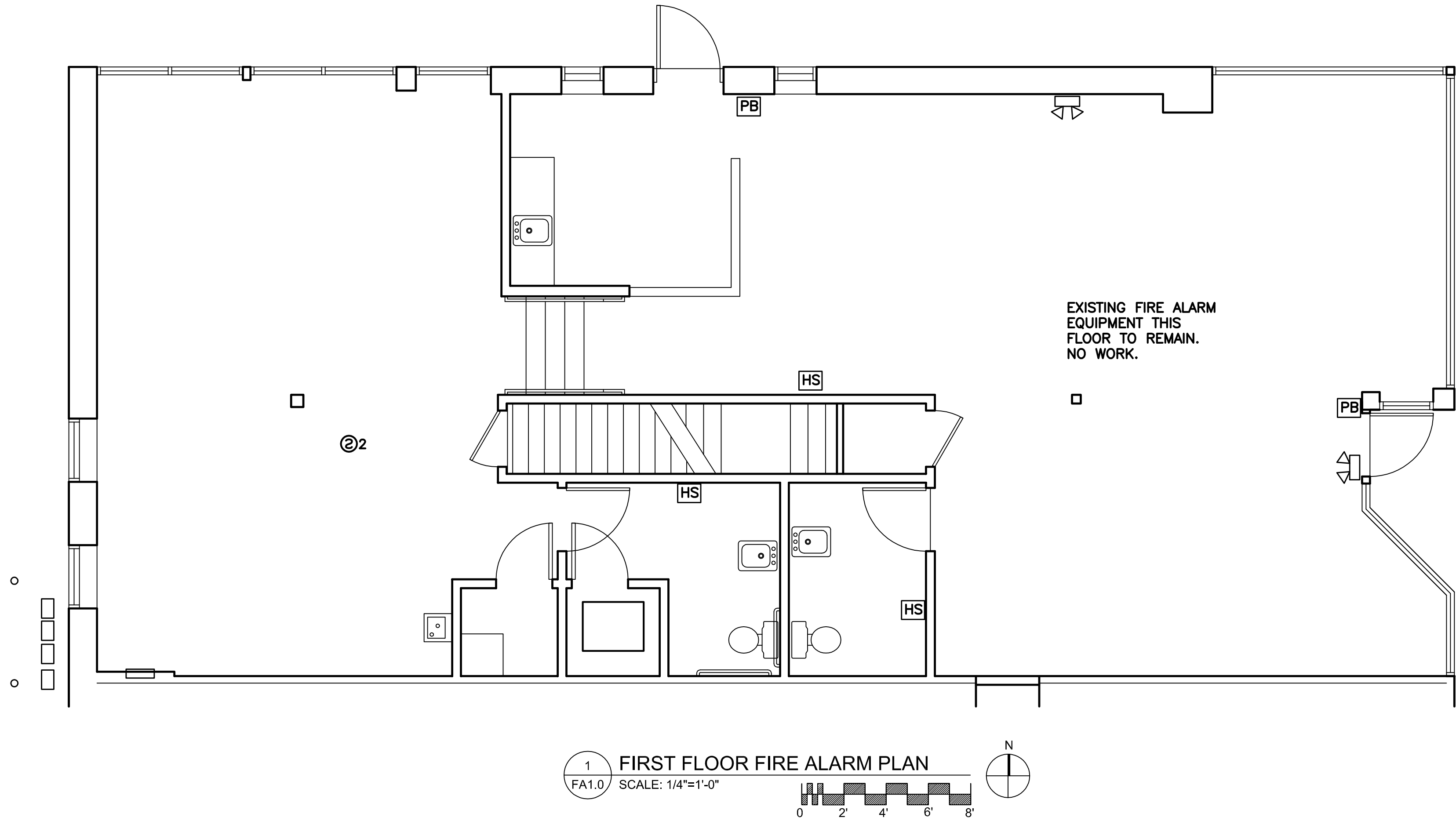
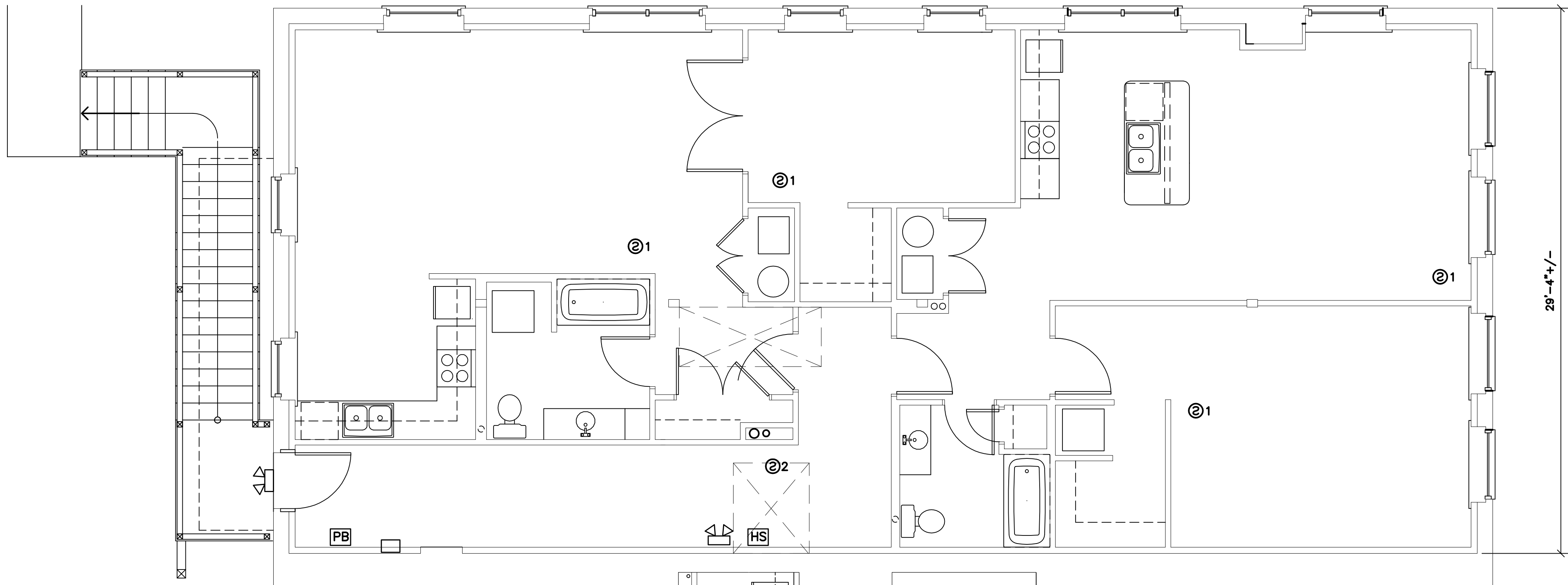
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Electrical Panels

Sheet Number:

E2.0

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- FIRE DETECTION AND ALARM**  
FIRE ALARM SYSTEM TO COMPLY WITH IBC 907.3 & 907.9
- REFER TO ARCHITECTURAL FOR EXIT INDICATORS AND EMERGENCY LIGHTING.
- BASEMENT NOTE:  
TWO EXISTING TYPE 2 SMOKE DETECTORS ARE INSTALLED IN BASEMENT AND TIED TO BUILDING FACP.
- 21 SMOKE & CO DETECTOR – HARDWIRED W/ BATTERY BACKUP. WITH AUDIBLE BASE. NOT TIED TO BLDG FACP. DUAL DETECTION TYPE. INTERCONNECTED PER CODE.
- 22 SMOKE DETECTOR – HARDWIRED W/ BATTERY BACKUP. TIED TO FACP. DUAL DETECTION TYPE.
- PB MANUAL PULL STATION BOX
- ST STROBE – MOUNT AT +84"
- HS HORN/STROBE – MOUNT AT +84"
- FACP FIRE ALARM CONTROL PANEL ADDRESSABLE TYPE SYSTEM MFR: TYCO SYSTEMS. FACP TO MONITOR SPRINKLER FLOW SWITCH

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Fire Alarm Plans

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